

## ENERGY CODE

CALCULATIONS BASED ON CHAPTER 51-11R WAC  
STATE BUILDING CODE ADOPTION AND AMENDMENT OF THE 2015 EDITION OF  
THE INTERNATIONAL ENERGY CONSERVATION CODE, RESIDENTIAL.

### PRESCRIPTIVE REQUIREMENTS

#### TABLE R402.1.1 FOR CLIMATE ZONE 4C

FENESTRATION (GLAZING) U-FACTOR	0.30
SKYLIGHT U-FACTOR MAX	0.50
GLAZED FENESTRATION SHGC	NOT REQ'D
ATTIC CEILING R-VALUE	R-38
VAULTED CEILING R-VALUE	R-38
WOOD FRAME WALL R-VALUE	R-21
MASS WALL R-VALUE	R-21
FLOOR R-VALUE	R-30
BELOW-GRADE WALL - EXT. CONTINUOUS INSULATION	R-10
BELOW-GRADE WALL - INT. CONTINUOUS INSULATION	R-15
BELOW-GRADE WALL - CAVITY INSULATION	R-21+TB*
SLAB R-VALUE & DEPTH	R-10, 2 FT

\*TB = THERMAL BREAK  
R406 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS  
2. MEDIUM DWELLING UNIT **MIN 6.0 CREDITS**

PROVIDE: TABLE 406.2 FUEL NORMALIZATION CREDITS

SYSTEM TYPE OF PRIMARY HEATING SOURCE

1 Combustion heating equipment meeting minimum federal efficiency standards for the equipment listed in Table C403.3.2(4) or C403.3.2(5) **0 CREDITS**

PROVIDE: TABLE 406.3 ENERGY CREDITS

1.3 EFFICIENT BUILDING ENVELOPE **0.5 CREDITS**

Prescriptive compliance is based on Table R402.1.1 with the following modifications:

- Vertical fenestration U = 0.28
- Floor R-38
- Slab on grade R-10 perimeter and under entire slab
- Below grade slab R-10 perimeter and under entire slab or
- Compliance based on Section R402.1.4: Reduce the Total conductive UA by 5%.

2.3 AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION **1.5 CREDITS**

Compliance based on Section R402.4.1.2:

Reduce the tested air leakage to 1.5 air changes per hour maximum at 50 Pascals and

All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.75.

To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum tested building air leakage and shall show the heat recovery ventilation system.

3.1 HIGH EFFICIENCY HVAC EQUIPMENT **1.0 CREDITS**

Energy Star rated (U.S. North) Gas or propane furnace with minimum AFUE of 95% of

Energy Star rated (U.S. North) Gas or propane boiler with minimum AFUE of 90%. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.

4.2 HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM **1.0 CREDITS**

HVAC equipment and associated duct system(s) installation shall comply with the requirements of Section R403.7.

Locating system components in conditioned crawl spaces is not permitted under this option.

Electric resistance heat and ductless heat pumps are not permitted under this option. Direct combustion heating equipment with AFUE less than 80% is not permitted under this option.

5.5 EFFICIENT WATER HEATING **2.0 CREDITS**

Water heating system shall include one of the following:

Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specification

TOTAL **6.0 CREDITS**

### ENERGY NOTES AS REQUIRED:

- THE BUILDING SHALL COMPLY WITH: SECTION R402.4.1.2, SECTION R403.2.2, & SECTION R404.1 OF THE ENERGY CODE OR AS PER THE REQUIREMENTS OF THE CITY/TOWN OF JURISDICTION.
- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND SHALL NOT COVER OR OBSTRUCT THE REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES/FACTORS AND THE TYPES AND THE EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT AS WELL AS DUCT AND AIR LEAKAGE RATES.
- THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION.
- FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING. INSULATION SUPPORTS SHALL BE INSTALLED SO SPACING IS NO MORE THAN 24-INCHES ON CENTER.
- THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M<sup>2</sup>), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M<sup>2</sup>), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 1011I.S.2/IA440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.
- DUCTS IN CRAWL SPACES SHALL BE INSULATED TO A MINIMUM OF R-3.
- DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33. USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED.
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105°F (41°C) OR BELOW 55°F (13°C) SHALL BE INSULATED TO A MINIMUM OF R-6.
- CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.
- INSULATION FOR HOT WATER PIPE SHALL HAVE A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-4.
- THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION, OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- WHOLE HOUSE VENTILATION SYSTEM SHALL COMPLY WITH IRC 1508.
- A MINIMUM OF 75% OF LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

## MECHANICAL & ENERGY GENERAL NOTES

- ALL GLAZING SHALL BE DOUBLE GLAZED PER SPECIFICATIONS.
- ALL METAL DUCT JOINTS TO BE SEALED WITH DUCT SEALANT AND TESTED.
- ALL OPENINGS IN THE EXTERIOR WALLS SHALL BE SEALED OR WEATHERSTRIPPED AS APPROPRIATE TO LIMIT AIR LEAKAGE.
- BATT INSULATION SHALL BE CAREFULLY INSTALLED TO AVOID TEARING OR RIPPING THE VAPOR BARRIER. ALL JOINTS (BETWEEN BATT SPLICES) AND TEARS SHALL BE SEALED. ALL JOINTS (BETWEEN BATT SPLICES) AND TEARS SHALL BE SEALED WITH DUCT TAPE (OR OTHER APPROVED MATERIAL).
- SHOWERS SHALL BE EQUIPPED WITH FLOW-CONTROL DEVICES THAT LIMIT TOTAL FLOW TO A MAXIMUM OF 2.5 GPM PER SHOWERHEAD.
- FACTORY-BUILT WINDOWS SHALL BE RATED AND TESTED BY THE ASTM STANDARD E 283-73 LISTING AIR LEAKAGE RATES.
- R-10 DUCT INSULATION REQUIREMENTS PER WESC TABLE 5-11.
- ALL FAN DUCTING TO BE SMOOTH WALL 28-GAUGE OR HEAVIER.
- FUEL FOR WATER AND SPACE HEATING SHALL BE GAS.
- SERVICE WATER HEATER SHALL HAVE A LABEL WHICH STATES THAT IT COMPLIES WITH 1987 THE NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
- ALL WATER SERVICE PIPING SHALL BE THERMALLY INSULATED IN ACCORDANCE WITH LOCAL CODE.
- CONTINUOUS APPROVED VAPOR BARRIERS SHALL BE INSTALLED ON THE HEATED SIDE OF ALL INSULATION INSTALLED.
- ONLY ONE DUCT IS ALLOWED PER JOIST BAY FOR BATH, KITCHEN OR LAUNDRY ROOM VENT FANS.
- ALL HVAC AND MECHANICAL CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE WSCS AND VIAQ REGULATIONS.
- ALL AIR DUCTS, DRYER EXHAUST VENTS AND DUCTS, OUTSIDE COMBUSTION AIR, FLUES, PLUMBING WASTE, ELECTRIC LIGHT RECESSED CANS AND BOXES MUST MAINTAIN THE INTEGRITY OF FIRE-RESISTIVE ASSEMBLIES. REF. WSCB 704, 709, 710 AND 713, UFC AND CITY OF SEATTLE STANDARDS.
- DISHWASHER MUST BE PROVIDED WITH AN ATMOSPHERIC AIR GAP MOUNTED ABOVE THE FLOOR LEVEL RIM OF SINK.
- HOT WATER TANK MUST BE PROVIDED WITH ALL FOLLOWING:
  - BE SECURED TO PREVENT SEISMIC DISPLACEMENT.
  - BE PROVIDED WITH A PRESSURE RELIEF VALVE DISCHARGING TO THE EXTERIOR OF THE BUILDING TERMINATION 6" TO 24" ABOVE THE GROUND.
  - BE PROVIDED WITH A THERMAL EXPANSION TANK SIZED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  - ELECTRIC RESISTANCE IS NOT ALLOWED.
- ENCLOSURE AT HOT WATER TANKS AND FURNACES MUST BE PROVIDED WITH OUTSIDE AIR, AND THERMALLY ISOLATED TO SAME STANDARDS AS EXTERIOR ENVELOPE WITH TIGHT-FITTING U-0.40 DOOR.
- IF THE WATER HEATER HAS A NONRIGID WATER CONNECTION AND IS OVER 4' IN HEIGHT IT MUST BE ANCHORED OR STAPPED TO RESIST EARTHQUAKE MOTION.
- INSTALL BACK WATER VALVE AT BASEMENT LEVEL AS REQUIRED TO PREVENT SEWERAGE BACKUPS PER UPS 710.1.
- PERFORM REQUIRED SOUND TEST FOR INTERIOR RANGE HOOD WITH FAN CAPACITY GREATER THAN 400 CFM.

# RAMAIYAH SUBRAMANIAN RESIDENCE



## GENERAL NOTES

1. GENERAL NOTES DO NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES DOCUMENTED IN AIA FORM A201 GENERAL CONDITIONS AND SUPPLEMENTAL GENERAL CONDITIONS OR INFORMATION CONTAINED WITHIN THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS.

### CODES

3. ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND ORDINANCES. ANY CONFLICT WHERE THE METHOD OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE APPLICABLE CODE OR ORDINANCES, THE CODE OR ORDINANCES SHALL GOVERN. IN THE EVENT THIS OCCURS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CURRENT EDITIONS OF THE CODE ARE LISTED HERE FOR GENERAL REFERENCE, BUT DO NOT RELEASE THE CONTRACTOR FROM CONFORMING TO ALL APPLICABLE BUILDING CODES AND ORDINANCES AND THEIR SUBSECTIONS.

### APPLICABLE CODES PER CITY/COUNTY REQUIREMENTS:

2018 INTERNATIONAL BUILDING CODE (IBC) - WAC 51-50  
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) - WAC 51-51  
2018 INTERNATIONAL MECHANICAL CODE (IMC) - WAC 51-52  
2018 WASHINGTON STATE ENERGY CODE - WAC 51-11C & WAC 51-11R  
2018 UNIFORM PLUMBING CODE (UPC) - WAC 51-52 & WAC 51-57  
2018 INTERNATIONAL FIRE CODE (IFC) - WAC 51-54A  
2018 INTERNATIONAL FUEL GAS CODE (NFGC) - WAC 51-52  
2010 NFPA 13A

### CONSULTANT'S DRAWINGS

4. CONSULTANT DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND INTERIOR DESIGN ARE SUPPLEMENTARY TO THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES IDENTIFIED BETWEEN THE CONSULTANT'S DRAWINGS WITH A WRITTEN REQUEST FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

### CONSTRUCTION

5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF A SIMILAR CHARACTER TO DETAILS SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT.

6. THE CONTRACTOR SHALL INVESTIGATE EXISTING CONDITIONS BEFORE BEGINNING WORK.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT INDICATED IN THE CONTRACT DOCUMENTS, AND PROVIDED BY OTHERS.

8. THE CONTRACTOR SHALL PROVIDE ALL BLOCKING, BUCK-OUTS, BAKING AND JACKS AS REQUIRED FOR THE WORK, UNLESS NOTED OTHERWISE.

9. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR INSPECTING THE WORKMANSHIP OF SUBCONTRACTORS PRECEDING. DISCREPANCIES IN PROCEEDING WORK SHALL BE REPORTED TO THE CONTRACTOR IMMEDIATELY. FAILURE TO DO SO IN A TIMELY MANNER SHALL BE CONSTRUED AS ACCEPTANCE OF THAT WORK.

10. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK CAUSED BY THE SUBCONTRACTOR, ITS AGENTS, OR EMPLOYEES. SUBCONTRACTOR SHALL REPAIR SAID DAMAGE AT THE SUBCONTRACTOR'S EXPENSE.

11. THE USE OF WORD "PROVIDE" SHALL ALWAYS MEAN, "FURNISH, INSTALL, CONNECT OR SECURE" AS REQUIRED.

12. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND TRADE ASSOCIATES ACCEPTED STANDARDS.

DRAWING STANDARDS / DIMENSIONS  
13. DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS. IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY CLARIFY SAID CONDITION WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

14. ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN REPRESENTED TO THE BEST KNOWLEDGE OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES THAT WOULD EFFECT THE CONSTRUCTION OF THE PROJECT BEFORE STARTING THE WORK.

15. DIMENSIONS ARE TO THE FACE OF FRAMING, FACE OF CONCRETE, GRID LINES, OR CENTERLINE OF COLUMNS, DOORS AND WINDOWS UNLESS NOTED OTHERWISE.

16. VERIFY SIZE AND LOCATION OF AND PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, ANCHORS, INSERTS, ROUGH BLOCKS AND BACKING FOR SURFACE MOUNTED ITEMS.

17. PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND ELECTRICAL IN ALL FINISHED AREAS.

18. ALL SWING DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 4" FROM FACE OF STUD TO EDGE OF ROUGH OPENINGS OR CENTERED BETWEEN ROOM PARTITIONS AS SHOWN.

19. PLANS ARE DRAWN ASSUMING THE FOLLOWING ROUGH OPENINGS:

- SWINGING DOORS: NOMINAL SIZE +2"
- BI-FOLD DOORS: NOMINAL SIZE + 1 1/2"
- BI-PASS DOORS: NOMINAL SIZE +0"
- WINDOWS: NOMINAL SIZE +0"

20. PROVIDE CAULKING BETWEEN SOLE PLATES AND SUBFLOOR AND BETWEEN RIM JOISTS AT BOTH TOP PLATE AND SUBFLOOR.

21. SAFETY GLAZING: WINDOW MFR. SHALL PROVIDE TEMPERED SAFETY GLAZING WHERE REQUIRED BY W.S.B.C. SECTION 2406.

22. SKYLIGHTS SHALL COMPLY WITH W.S.B.C. 2409.

23. REFER TO ARCHITECT'S STANDARDS FOR SYMBOLS AND ABBREVIATIONS IN SPECIFICATION MANUAL FOR CLARITY OF DRAWINGS. IF A SYMBOL OR ABBREVIATION IS IDENTIFIED IN THE SPEC MANUAL THAT IS IN DISCREPANCY WITH THE STANDARDS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.

24. DEFERRED SUBMITTALS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDER DESIGN AND FOR SUBMITTING DRAWINGS AND/OR SPECIFICATIONS TO THE CITY/TOWN OF JURISDICTION AS DEFERRED SUBMITTALS FOR THE FOLLOWING:

- PLUMBING
- HVAC, MECHANICAL SYSTEMS
- AUTOMATIC SPRINKLER SYSTEMS, VERIFY

THESE SUBMITTALS SHALL BE PROVIDED TO THE CITY PRIOR TO COMMENCING ANY WORK ON THE SYSTEM.

25. ALL FASTENERS, CONNECTORS & HANGERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD ARE REQUIRED TO BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153 OR BE STAINLESS STEEL.

26. REPETITIVE FEATURES NOT FULLY SHOWN OR NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

## VICINITY MAP



## PROJECT TEAM

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## PROJECT DATA

**PROJECT NAME:** RAMAIYAH SUBRAMANIAN RESIDENCE

**PROJECT ADDRESS:** 7466 E Mercer Way  
Mercer Island, WA 98040

**PROJECT LEGAL DESCRIPTION:** PER SURVEY BY TERRANE AND PER STATUTORY WARRANTY DEED RECORDING # 20150526001877

THAT PORTION OF LOT 20, BLOCK 3, FLOOD'S LAKE SIDE TRACTS, ACCORDING TO THE PLAN THEREOF RECORDED IN VOLUME 20 OF PLATS, PAGE 83, RECORDS OF KING COUNTY, WASHINGTON, LYING WEST OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT THE MONUMENT MARKING THE INTERSECTIONS OF THE ORIGINAL PLATTED CENTER LINE OF EAST MERCER WAY WITH THE WESTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 20; THENCE NORTH. 89°56'32" EAST ALONG SAID WESTERLY EXTENSION AND ALONG SAID SOUTH LINE 169.30 FEET TO THE TRUE POINT OF BEGINNING OF THE LINE HEREIN DESCRIBED; THENCE NORTH 0°03'28" WEST TO THE NORTH LINE OF SAID LOT 20 AND THE END OF THE LINE HEREIN DESCRIBED;

TOGETHER WITH THAT PORTION OF VACATED EAST MERCER WAY ADJOINING THE ABOVE DESCRIBED PROPERTY ON THE WEST;

PARCEL B:  
AN EASEMENT FOR INGRESS AND EGRESS TO LAKE WASHINGTON OVER THE NORTH 5.0 FEET OF THAT PORTION OF SAID TRACT 20 LYNE EASTERLY OF THE EAST LINE OF THE ABOVE DESCRIBED TRACT;

SITUATED IN THE COUNTY OF KIND, STATE OF WASHINGTON.

**TAX PARCEL #:** PARCEL # 2579500136

**JURISDICTION:** MERCER ISLAND

**LAND USE ZONING:** R-8.4

**OCCUPANCY GROUPS:** R-3 SINGLE FAMILY RESIDENCE

**TYPE OF CONSTRUCTION:** VB

**OCCUPANCY SEPARATIONS:** ONE HOUR BETWEEN GARAGE & RESIDENCE

A NFPA 72- CHAPTER 29 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

A NFPA 13R FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13R AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

## PROJECT SCOPE OF WORK

CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE AND DEMOLITION OF EXISTING RESIDENCE, GARAGE AND SITE ELEMENTS. PROPOSED NEW STRUCTURE CONSISTS OF TWO FLOORS AND A PARTIAL BASEMENT WITH AN ATTACHED TWO-CAR GARAGE.

## PROPOSED SF CALCULATION

HEATED AREAS	UNHEATED AREAS	DECK AREAS	
UPPER FLOOR: 1,280 SF	GARAGE: 560 SF	UPPER DECK: 74 SF	
MAIN FLOOR: 1,710 SF	MECH: 192 SF	MAIN DECK: 458 SF	
BASEMENT FLOOR: 1,268 SF			
<b>TOTAL HEATED SPACE: 4,258 SF</b>	<b>TOTAL UNHEATED SPACE: 752 SF</b>	<b>TOTAL DECK SPACE: 532 SF</b>	

## GROSS FLOOR AREA CALCULATIONS

CALCULATED PER MICC 19.02.020.D. SEE SHEET A004 FOR FLOOR DIAGRAM & BASEMENT CALCULATIONS.

BASEMENT AREA CALCULATED = 798 SF  
MAIN FLOOR AREA CALCULATED = 1,954 SF  
UPPER FLOOR AREA CALCULATED = 1,230 SF  
TOTAL AREA CALCULATED = 3,776 SF

TOTAL SITE AREA = 10,150 x 40% = 4,060 SF

3,982 SF < 4,060 SF... OK!

## BUILDING HEIGHT CALCULATION

CALCULATED PER MICC 19.02.020.E. SEE DIAGRAM 4/A004 FOR MEASUREMENTS.

MAXIMUM BUILDING HEIGHT ON DOWNHILL BUILDING FACADE DICTATES THAT THE EAST ELEVATION IS USED AS IT IS THE LOWEST DOWNHILL SLOPE. MEASURING FROM THE LOWEST POINT BETWEEN ORIGINAL GRADE AND FINISHED GRADE, THE FINISHED GRADE IS LOWER. THE EXTERIOR WALL OF THE MASTER BEDROOM IS THE HIGHEST WALL. THE BUILDING FACADE WILL BE BELOW THE 30' MAXIMUM.

## LOT COVERAGE - IMPERVIOUS SURFACE CALCULATION

PER 19.02.020.F. SEE DIAGRAMS 5/A004 FOR SITE SLOPE & 6/A004 FOR LOT COVERAGE PLAN.

LOT SLOPE 15% TO LESS THAN 30%. MAXIMUM LOT COVERAGE SHALL BE 35%. LANDSCAPING AREA SHALL BE 65%.

TOTAL SITE AREA 10,150 SF - RIGHT OF WAY AREA 280 SF

NET LOT AREA: 10,150 - 280 = 9,870 SF

HARDSCAPE SHALL NOT EXCEED 9% OF NET LOT AREA: 886 SF HARDSCAPE PROPOSED < 888.3 SF ALLOWED

LOT COVERAGE SHALL NOT EXCEED 35% OF NET LOT AREA: 3,432 SF PROPOSED < 3,454.5 SF ALLOWED

LANDSCAPING SHALL BE AT LEAST 65% OF NET LOT AREA: 6,593 SF PROPOSED > 6,415.5 SF REQUIRED

## SHEET INDEX

A001 COVERSHEET

A002 SITE PLAN & ENTRY STAIRS

A003 SITE IMPROVEMENTS - BARK RAMP & EGRESS WELL

A004 SITE CALS & BLDG HT CAL & SITE DIAGRAMS

7/15/2020 - TOPOGRAPHIC & BOUNDARY SURVEY

**CIVIL**

1 OF 14 COVER PAGE

2 OF 14 DRAINAGE PLAN

3 OF 14 GRADING PLAN

4 OF 14 WATER AND SEWER PLAN

5 OF 14 TESC PLAN

6 OF 14 DRAINAGE DETAILS

7 OF 14 DRAINAGE, WATER, AND SEWER DETAILS

8 OF 14 TESC DETAILS

9 OF 14 TESC DETAILS

10 OF 14 TESC DETAILS

11 OF 14 TESC DETAILS

12 OF 14 TESC DETAILS

13 OF 14 TESC DETAILS

14 OF 14 TESC DETAILS

A101 LOWER FLOOR PLAN

A102 MAIN FLOOR PLAN

A103 UPPER FLOOR PLAN

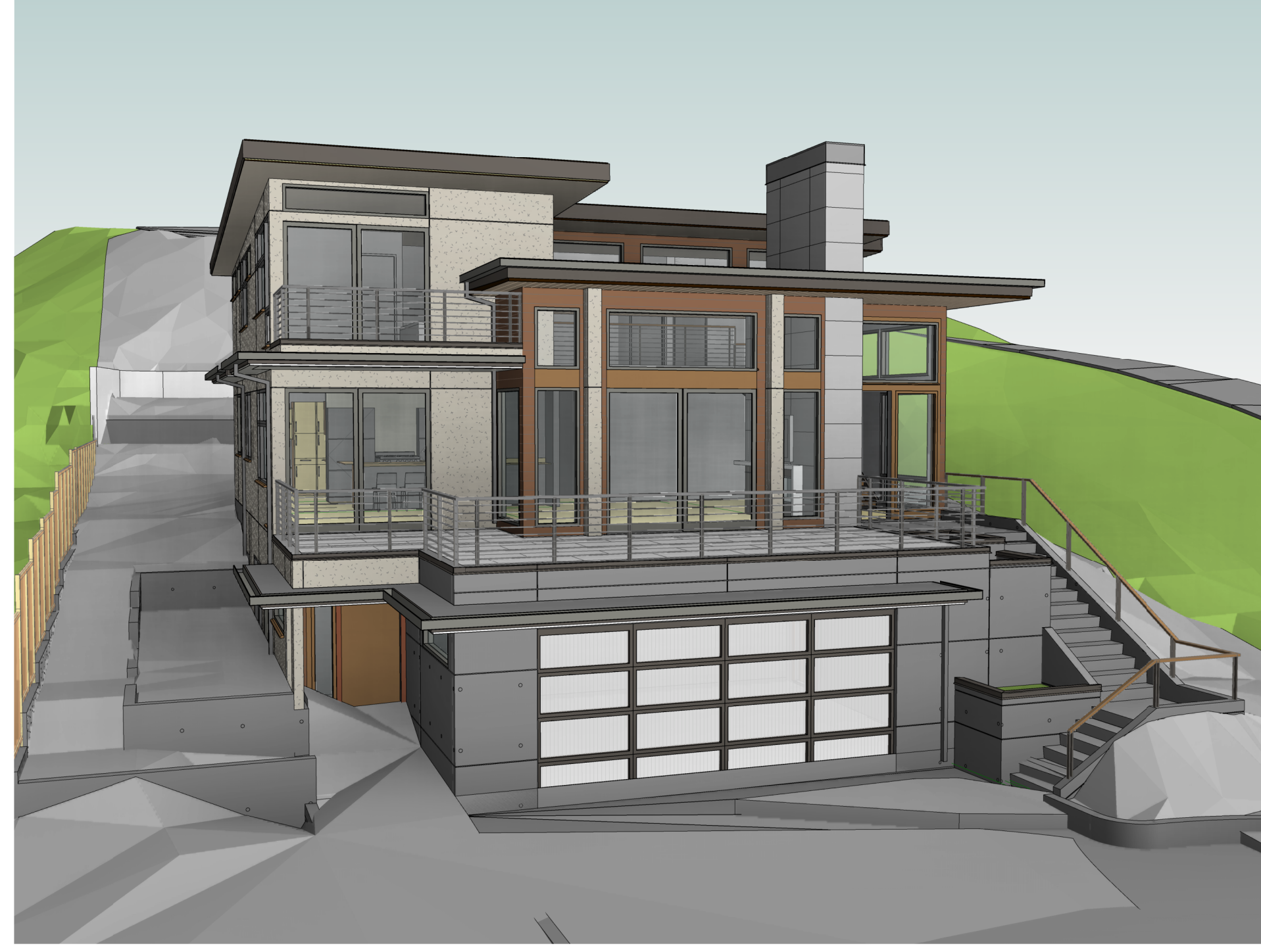
A104 ROOF PLAN

A201 BUILDING ELEVATIONS - EAST & WEST

A202 BUILDING ELEVATION - SOUTH & NORTH



1 LOOKING NW



2 LOOKING WEST



3 LOOKING SW



4 LOOKING EAST



5 LOOKING SE



6 LOOKING SOUTH

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Ramayah Subramanian  
 Residence

7466 E Mercer Way  
 Mercer Island, WA 98040

BUILDING PERMIT SET

REVISION 1

07/17/2025

PROJECT NUMBER: 20-0502  
 PROJECT MANAGER: JL  
 DRAWN BY: AD

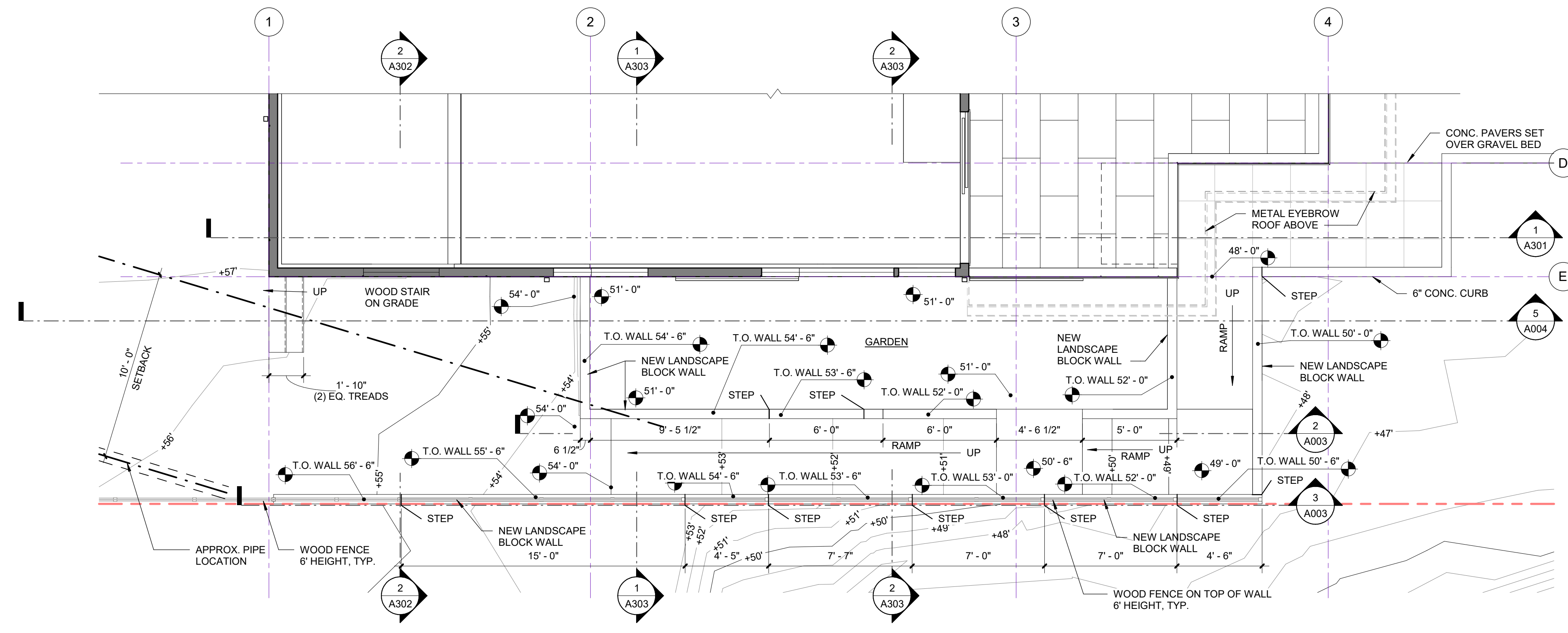
REVISIONS:

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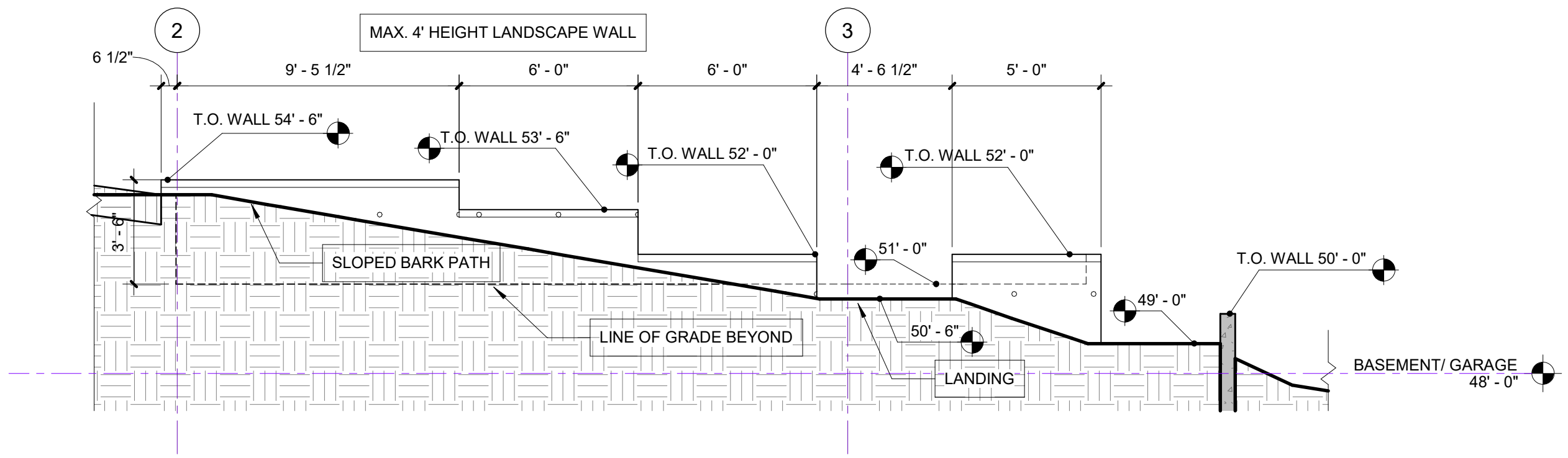
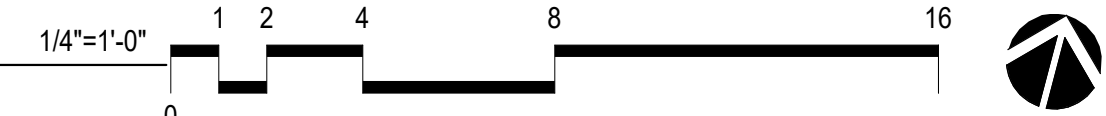
ARCHITECTS  
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EXTERIOR  
 PERSPECTIVES

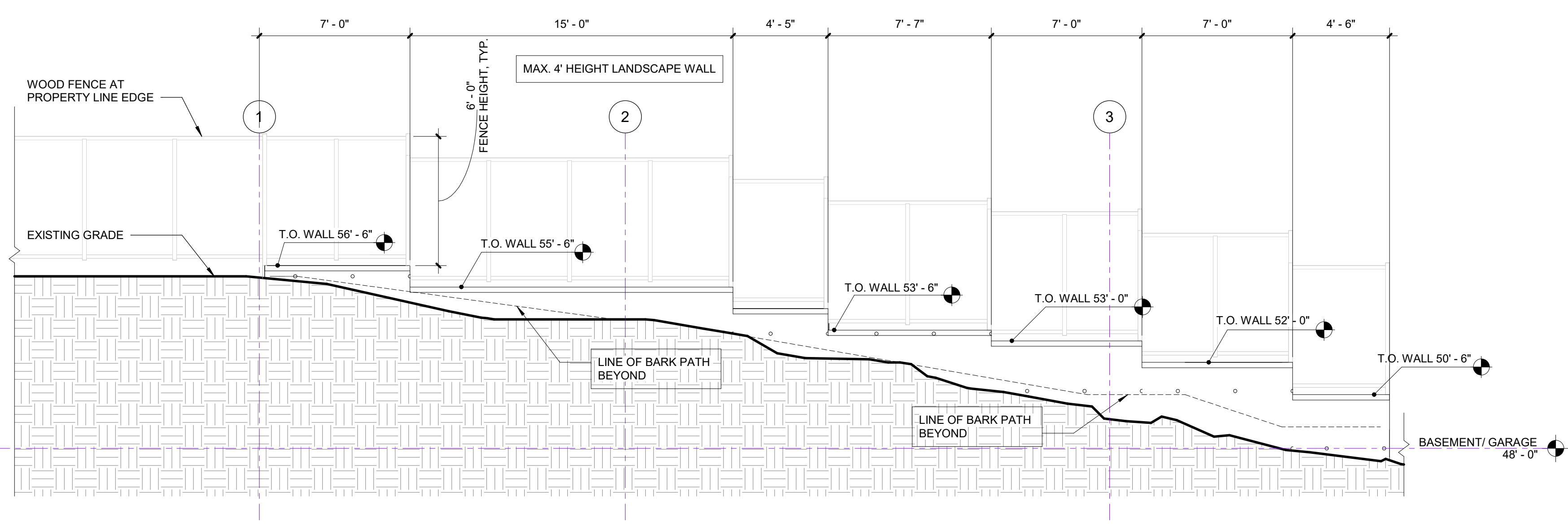




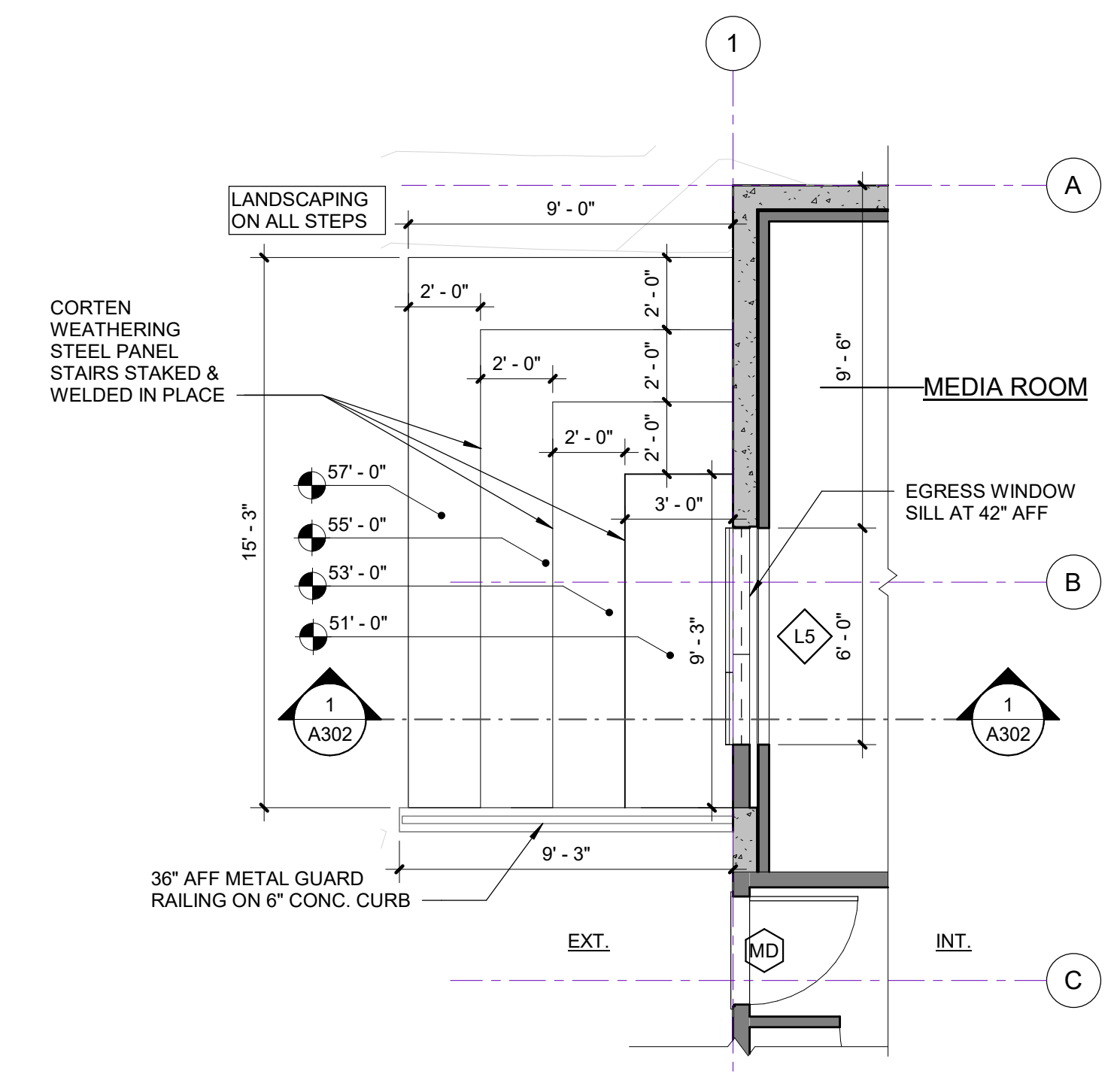
1 SOUTH PLANTERS & BARK PATH AT GARDEN  
1/4" = 1'-0"



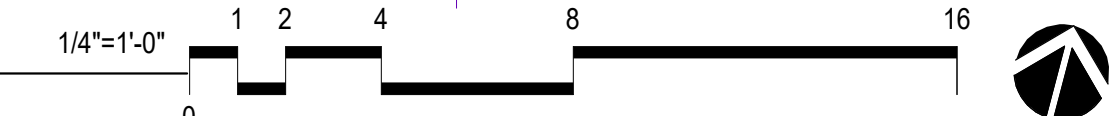
2 GARDEN LANDSCAPE BLOCK WALL AT BARK PATH  
1/4" = 1'-0"



3 LANDSCAPE BLOCK WALL AT PROPERTY LINE  
1/4" = 1'-0"



4 EGRESS WELL  
1/4" = 1'-0"



**SITE PLAN LEGEND**

- SHORELINE BUFFER
- PROPOSED BUILDING AREA
- ADJ. PROPERTY DRIVEWAY
- PROPOSED DECK AREA
- TRENCH DRAIN
- CLEANOUT (C.O.)
- DOWNSPOUT (D.S.)
- EXISTING TO BE REMOVED
- LINE OF ROOF OVERHANG
- LINE OF EXISTING GRADE
- LINE OF PROPOSED GRADE
- SETBACK/EASEMENT
- PROPERTY LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- GAS LINE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCE

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**Ramayyah Subramanian  
Residence**  
7466 E Mercer Way  
Mercer Island, WA 98040

**BUILDING PERMIT SET**  
**REVISION 1**  
07/17/2025

PROJECT NUMBER: 20-0502  
PROJECT MANAGER: JL  
DRAWN BY: AD

REVISIONS:

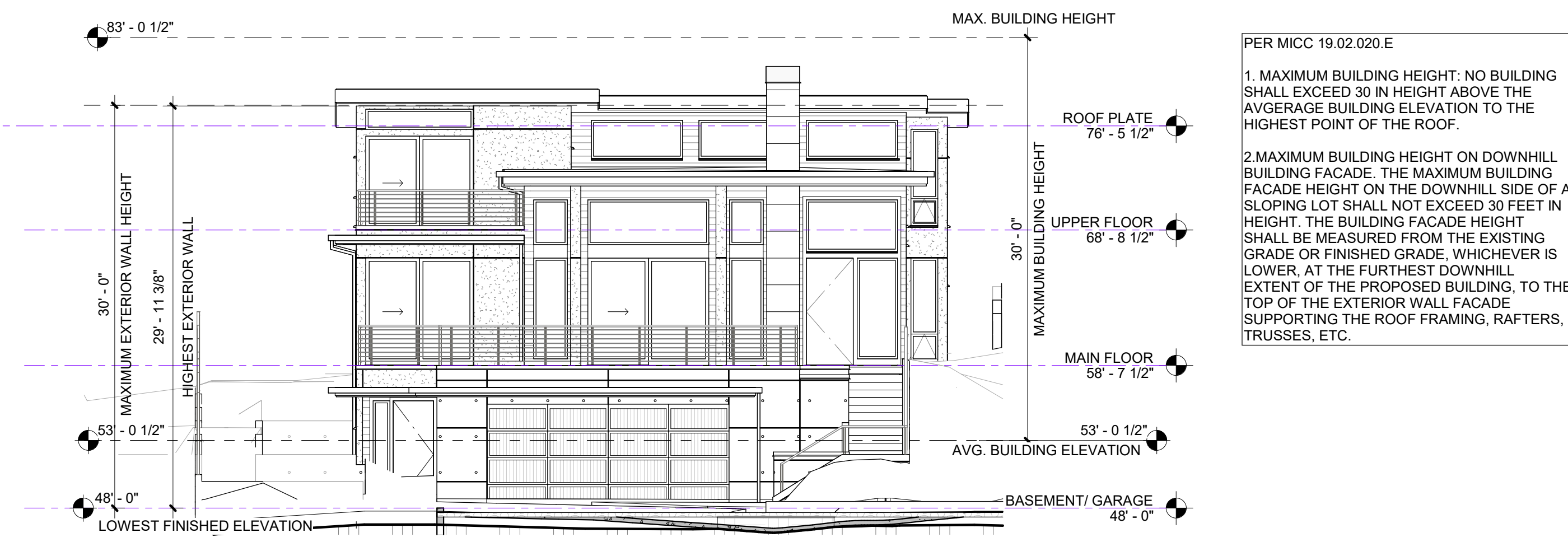
NO.	DESCRIPTION	DATE
1	REVISION 1	07/17/2025

ARCHITECTS  
**baylis**  
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SITE IMPROVEMENTS -  
BARK RAMP & EGRESS  
WELL

**A003**

7/17/2025 10:29:02 AM



PER MICC 19.02.020.E

1. MAXIMUM BUILDING HEIGHT: NO BUILDING SHALL EXCEED 30 IN HEIGHT ABOVE THE AVERAGE BUILDING ELEVATION TO THE HIGHEST POINT OF THE ROOF.

2. MAXIMUM BUILDING HEIGHT ON DOWNHILL BUILDING FACADE: THE MAXIMUM BUILDING FACADE HEIGHT ON THE DOWNHILL SIDE OF A SLOPING LOT SHALL NOT EXCEED 30 FEET IN HEIGHT. THE BUILDING FACADE HEIGHT SHALL BE MEASURED FROM THE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS LOWER, AT THE FURTHEST DOWNHILL EXTENT OF THE PROPOSED BUILDING, TO THE TOP OF THE EXTERIOR WALL FACADE SUPPORTING THE ROOF FRAMING, RAFTERS, TRUSSES, ETC.

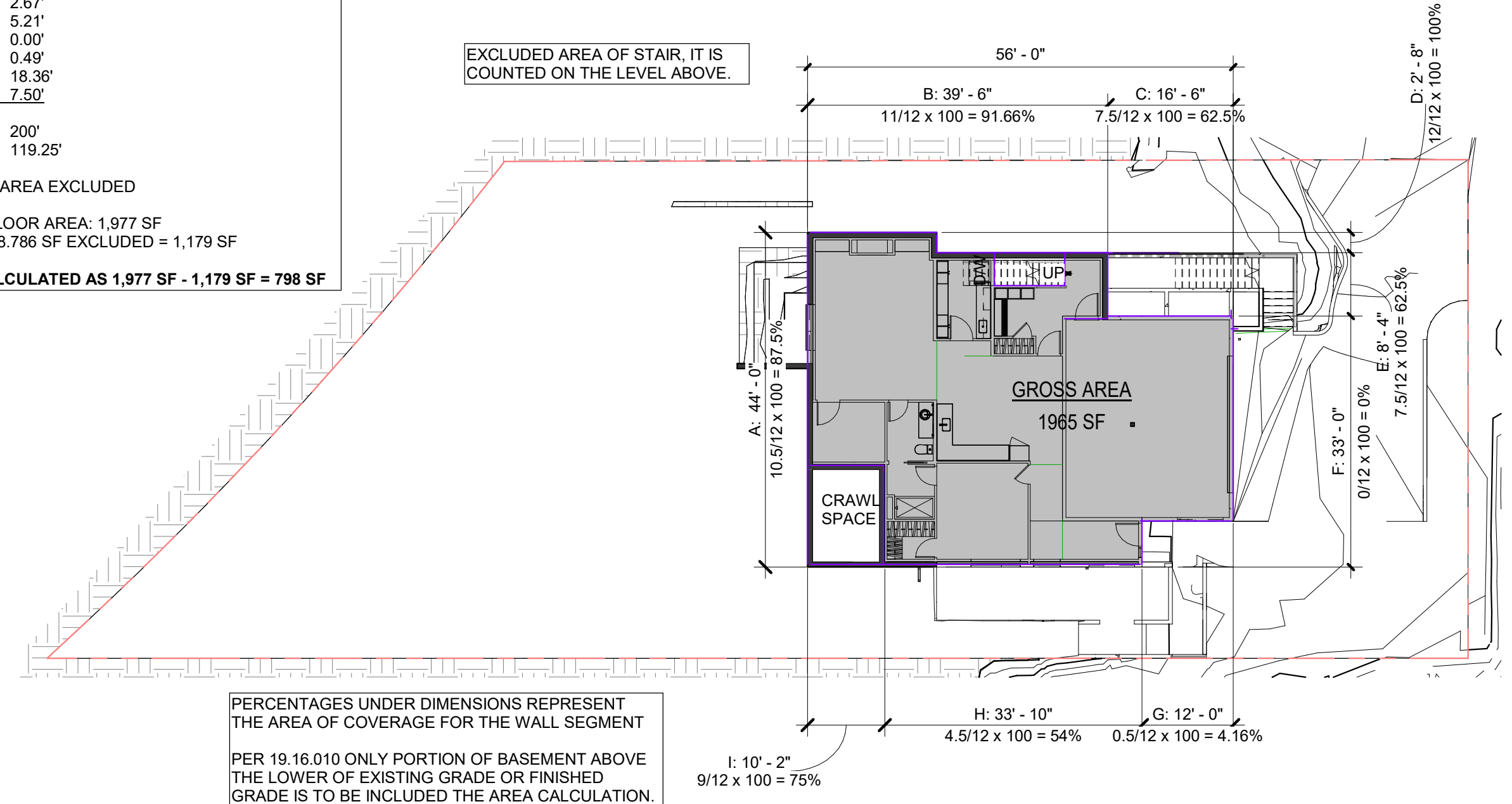
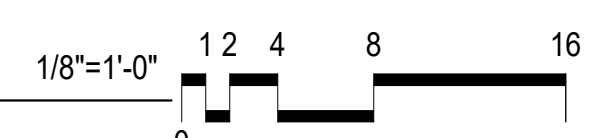
A: 44' x 87.5% = 38.50'  
 B: 39.5' x 91.66% = 36.21'  
 C: 16.5' x 62.5% = 10.31'  
 D: 2.67' x 100.0% = 2.67'  
 E: 8.33' x 62.5% = 5.21'  
 F: 33' x 0% = 0.00'  
 G: 12' x 4.16% = 0.499'  
 H: 34' x 54% = 18.36'  
 I: 10' x 75% = 7.50'

ORIGINAL LENGTH = 200'  
 ADJUSTED LENGTH = 119.25'

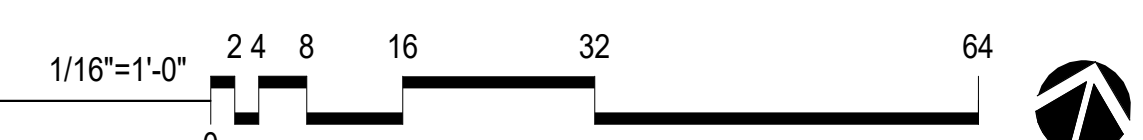
119.25'/200' = 59.625% AREA EXCLUDED

BASEMENT GROSS FLOOR AREA: 1,977 SF  
 1,977 x 59.625% = 1,178.786 SF EXCLUDED = 1,179 SF  
**BASEMENT AREA CALCULATED AS 1,977 SF - 1,179 SF = 798 SF**

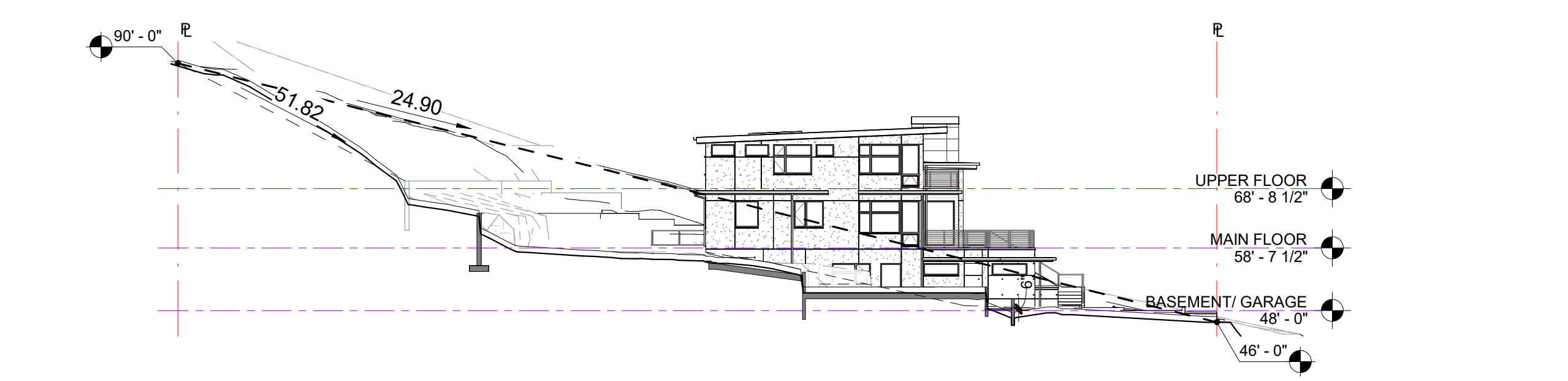
4 BUILDING HEIGHT DIAGRAM - EAST ELEVATION  
 1/8" = 1'-0"



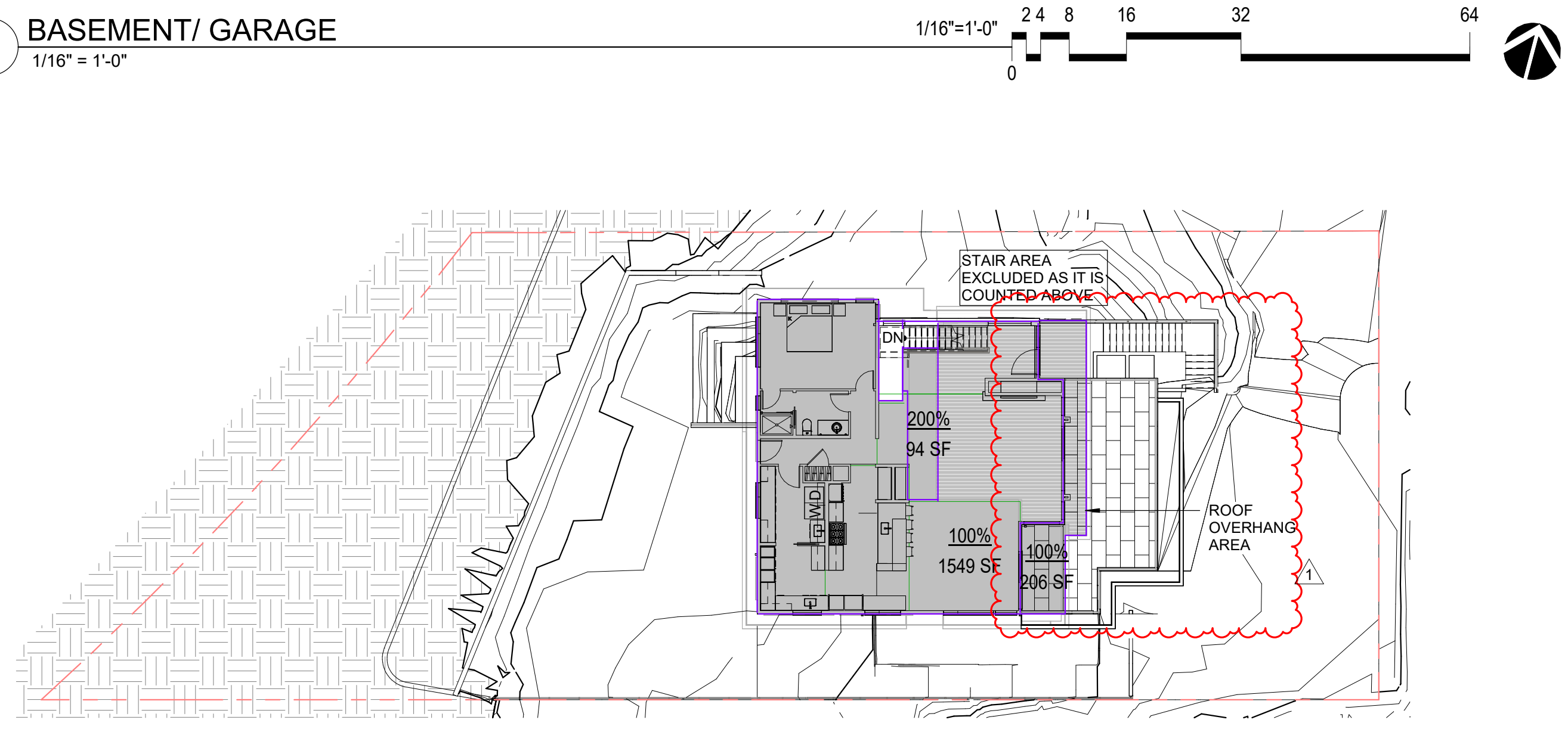
1 BASEMENT/ GARAGE  
 1/16" = 1'-0"



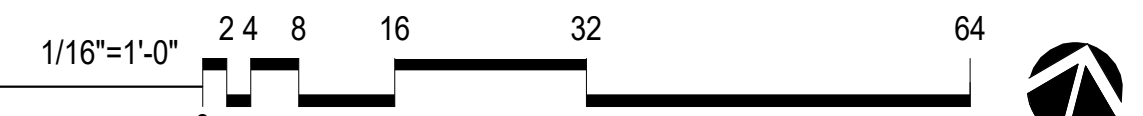
PER 19.02.020.F  
 LOT SLOPE 15% TO LESS THAN 30%, MAXIMUM LOT COVERAGE SHALL BE 35%, LANDSCAPING AREA SHALL BE 65%.



5 SITE SLOPE DIAGRAM  
 1" = 20'-0"



2 MAIN FLOOR  
 1/16" = 1'-0"



PER 19.02.020.F

TOTAL SITE AREA 10,150 SF - RIGHT OF WAY AREA 280 SF  
**NET LOT AREA: 10,150 - 280 = 9,870 SF**

HARDSCAPE:  
 AUTOCOURT & STAIRS 818 SF  
 WALKWAY 60 SF  
 LANDSCAPED STAIR 8 SF  
 HARDSCAPE TOTAL: 886 SF

9,870 SF x 9% = 888.3 SF 886 SF < 888.3 SF... OK!

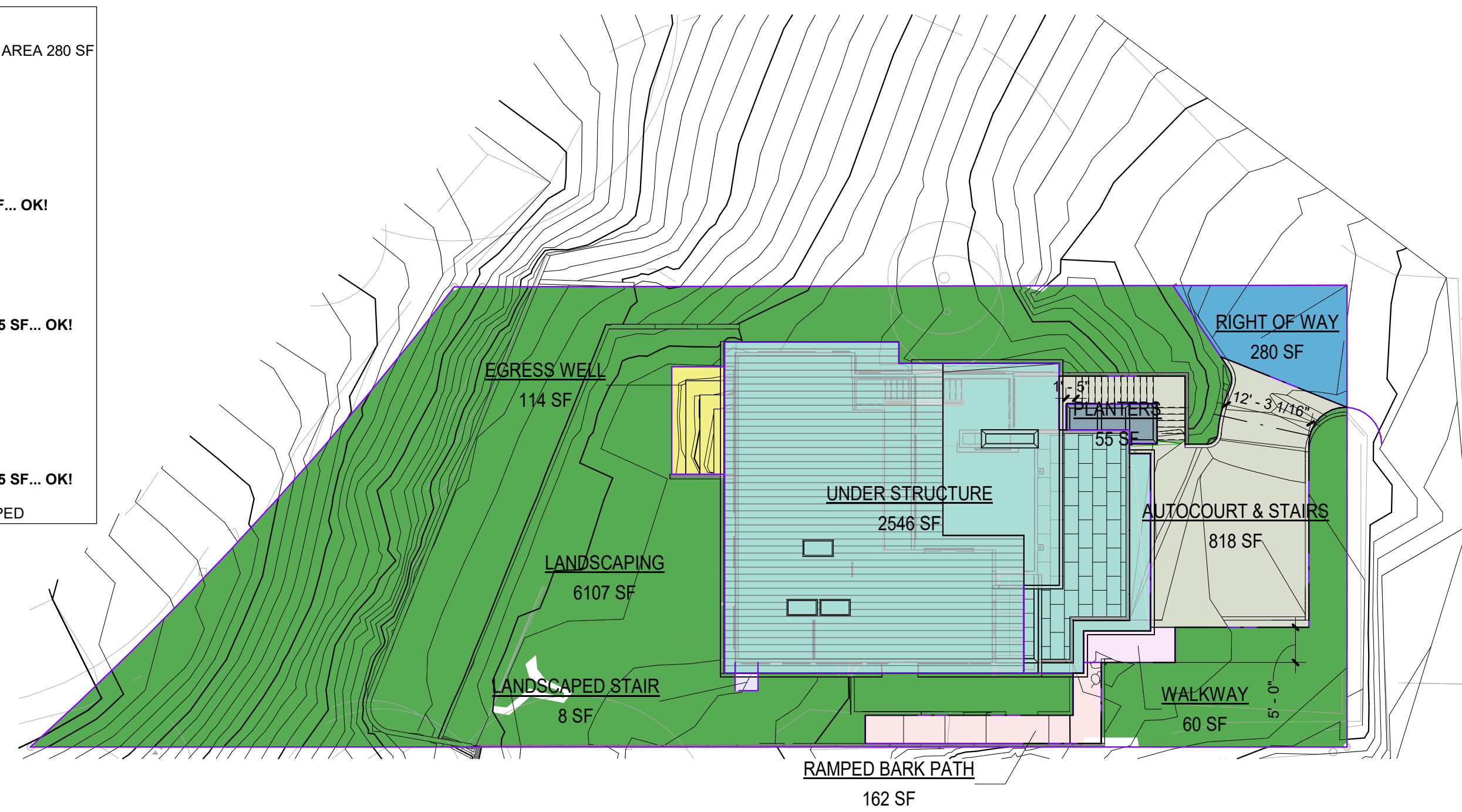
LOT COVERAGE:  
 HARDSCAPE TOTAL 886 SF  
 UNDER STRUCTURE 2,546 SF  
 TOTAL LOT COVERAGE 3,432 SF

9,870 SF x 35% = 3,454.5 SF 3,432 SF < 3,454.5 SF... OK!

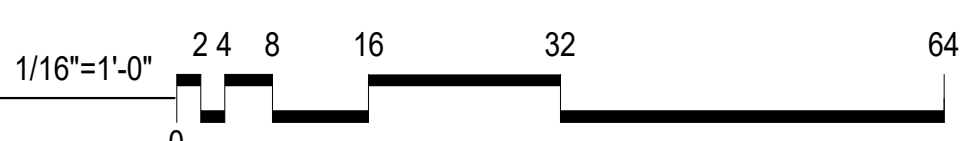
LANDSCAPING:  
 LANDSCAPING 6,107 SF  
 PLANTER 55 SF  
 RAMPED BARK PATH 317 SF  
 STEPPED EGRESS WELL\* 114 SF  
 TOTAL LANDSCAPING 6,591 SF

9,870 SF x 65% = 6,415.5 SF 6,591 SF > 6,415.5 SF... OK!

\*STEPPED EGRESS WELL WILL BE LANDSCAPED



6 LOT COVERAGE DIAGRAM  
 1/16" = 1'-0"



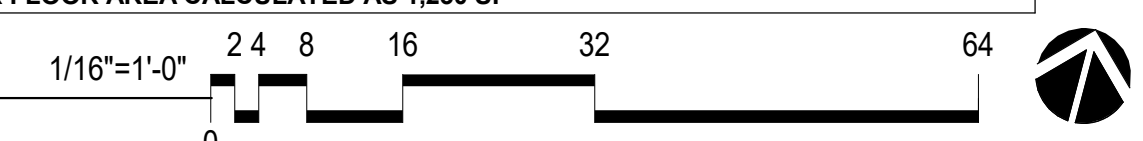
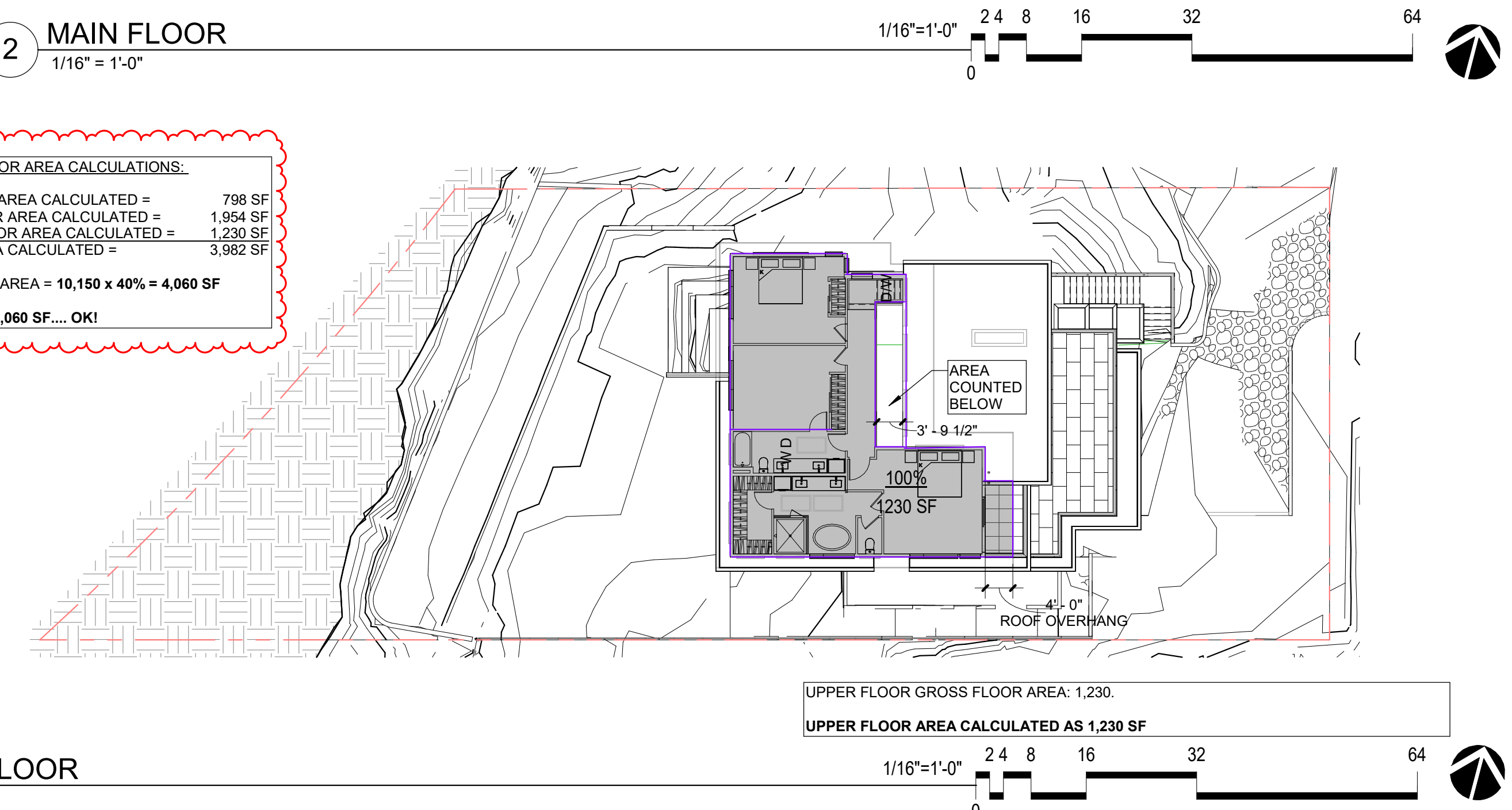
GROSS FLOOR AREA CALCULATIONS:

BASEMENT AREA CALCULATED = 798 SF  
 MAIN FLOOR AREA CALCULATED = 1,954 SF  
 UPPER FLOOR AREA CALCULATED = 1,230 SF  
 TOTAL AREA CALCULATED = 3,982 SF

TOTAL SITE AREA = 10,150 x 40% = 4,060 SF

**3,982 SF < 4,060 SF... OK!**

3 UPPER FLOOR  
 1/16" = 1'-0"



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Ramayyah Subramanian  
 Residence  
 7466 E Mercer Way  
 Mercer Island, WA 98040

BUILDING PERMIT SET  
 REVISION 1  
 07/17/2025

PROJECT NUMBER: 20-0502  
 PROJECT MANAGER: JL  
 DRAWN BY: AD

REVISIONS:

NO.	DESCRIPTION	DATE
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ARCHITECTS  
**baylis**  
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SITE CALS & BLDG HT  
 CAL & SITE DIAGRAMS

7/17/2025 10:29:05 AM

REVISIONS:

NO.	DESCRIPTION	DATE
1	REVISION 1	07/17/2025

- FLOOR PLAN NOTES:**
- TYPICAL WALL CONSTRUCTION:
    - EXTERIOR WALLS - 2X6 STUDS @ 16" O.C. UNO
    - INTERIOR WALLS - 2X4 & 2X6 STUDS @ 16" O.C.
  - 2X6 STUDS @ PLUMBING WALLS & POCKET DOORS, TYP
  - ALL SWING DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 4" FROM FACE OF STUD TO EDGE OF ROUGH OPENING OR CENTERED BETWEEN ROOM PARTITIONS AS SHOWN
  - VENT ALL FANS AND DRYER VENTS TO EXTERIOR, TYP
  - BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN-SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR

- SMOKE ALARM NOTES:**
- LOCATE SMOKE ALARMS PER PLANS AND IRC R314.1
  - MULTIPLE SMOKE ALARMS TO BE INTERCONNECTED PER IRC R313.1
  - SMOKE ALARMS TO BE HARD-WIRED WITH BATTERY BACK-UP PER IRC 313.2

- CARBON MONOXIDE ALARM NOTES:**
- LOCATE CARBON MONOXIDE ALARMS (CMA) PER PLANS AND IRC 315.1. A COMBINATION FIRE AND CARBON MONOXIDE DETECTOR IS ACCEPTABLE
  - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND IRC 315.3

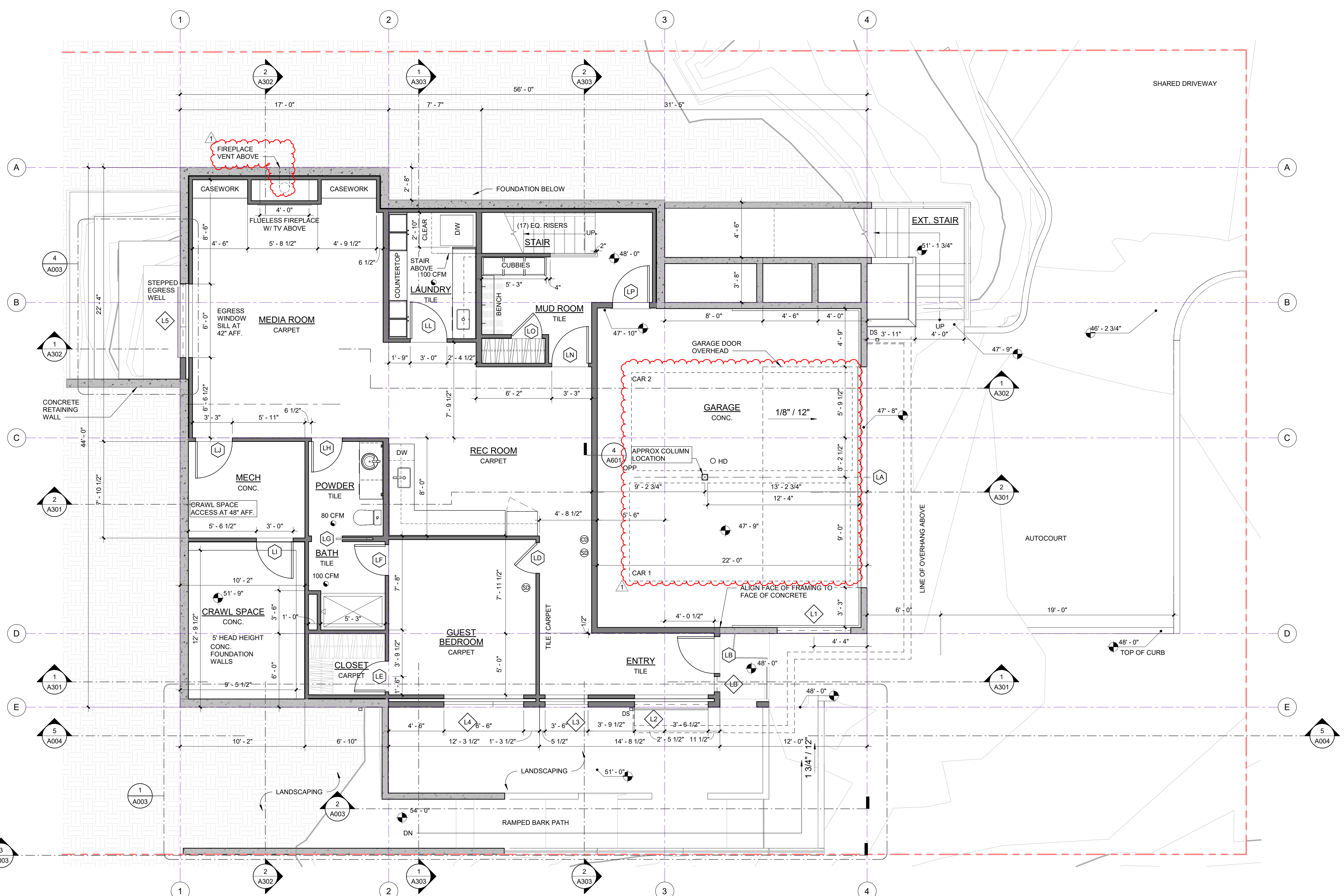
- FIREPLACE NOTES:**
- FIREPLACE TO BE A PRE-MANUFACTURED FIREPLACE WITH CHIMNEY, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODE REQUIREMENTS

**FLOOR PLAN LEGEND:**

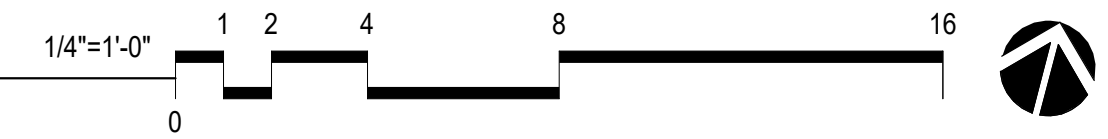
- WOOD FRAME WALL
- CONCRETE WALL
- WOOD FRAME WALL WITH STONE VENEER
- WINDOW TAG
- DOOR TAG
- DETAIL TAG
- BUILDING SECTION
- RECESSED EXHAUST FAN
- SMOKE ALARM
- CARBON MONOXIDE ALARM
- DOWNSPOUT
- HEAT DETECTOR

**BASEMENT FLOOR AREAS:**

HEATED AREA	1,268 SF
UNHEATED GARAGE	560 SF
UNHEATED MECH	192 SF



**1 BASEMENT/ GARAGE FLOOR PLAN**  
 1/4" = 1'-0"



REVISIONS:

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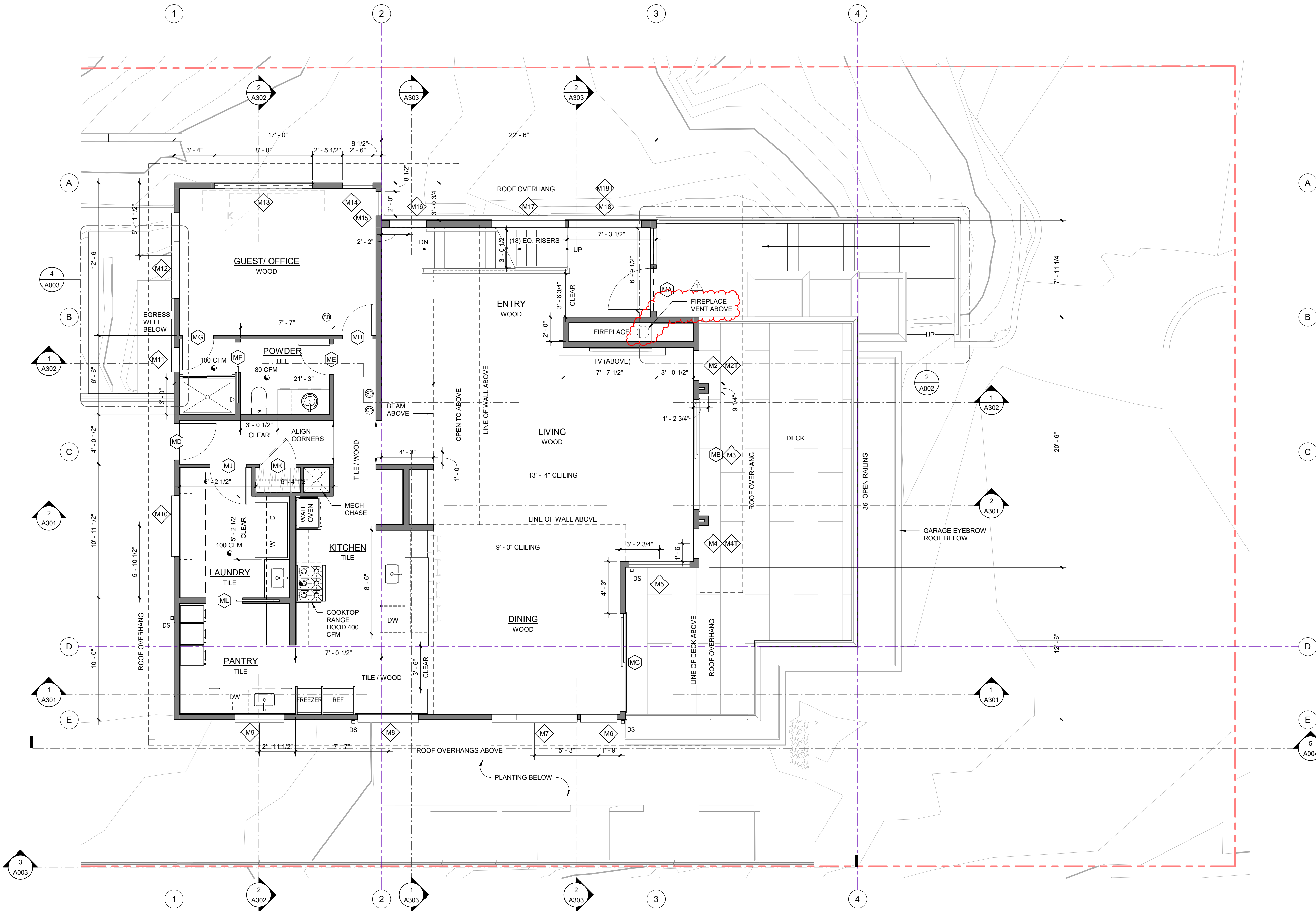
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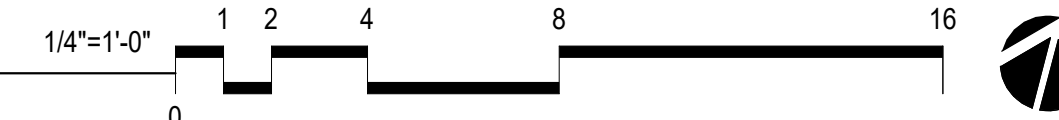
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- BUILDING SECTION
- RECESSED EXHAUST FAN
- SMOKE ALARM
- CARBON MONOXIDE ALARM
- DOWNSPOUT
- HEAT DETECTOR

**MAIN FLOOR AREAS:**

HEATED AREA	1,710 SF
DECK	458 SF



1 MAIN FLOOR PLAN  
 1/4" = 1'-0"



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**FIREPLACE NOTES:**

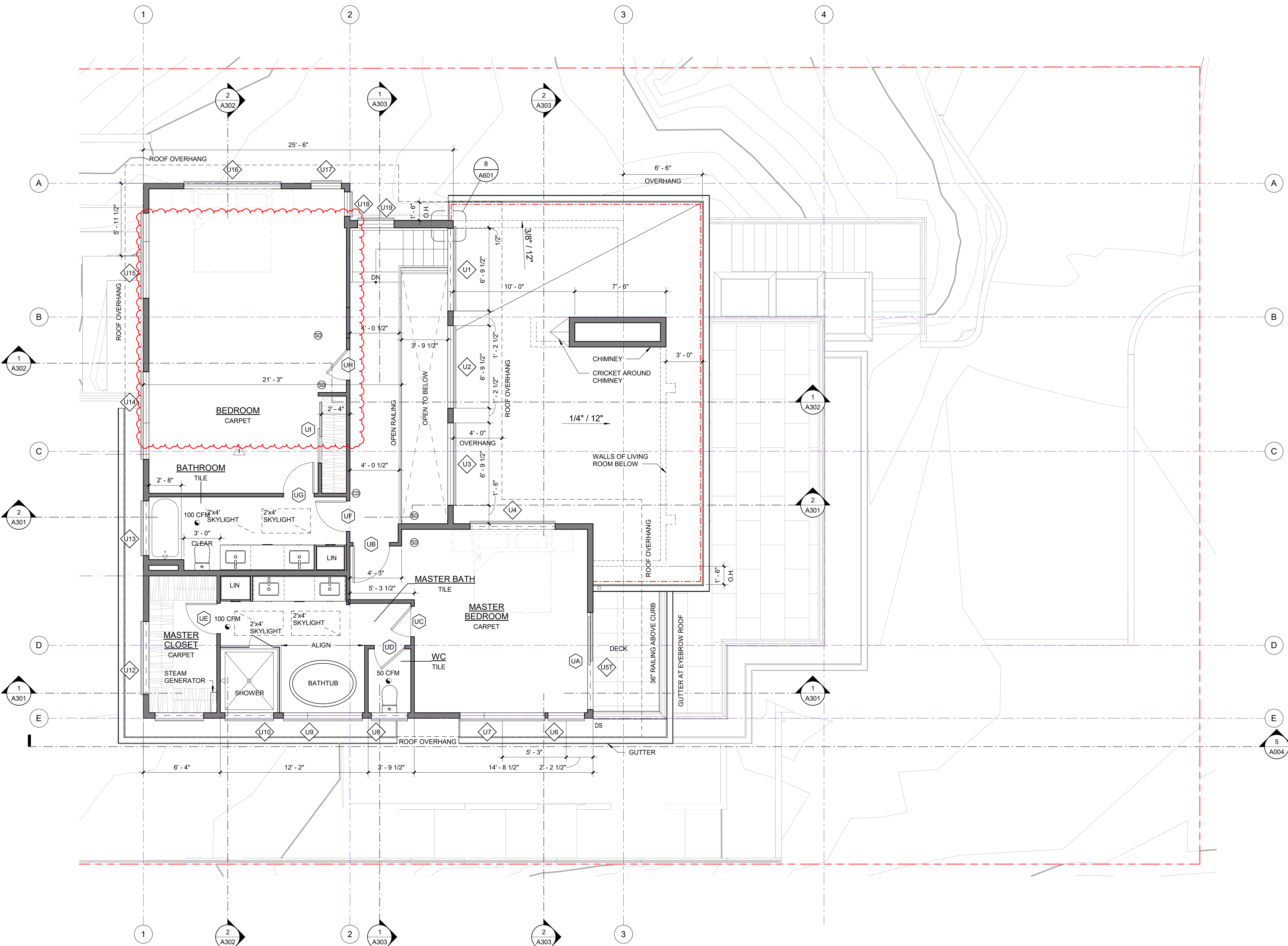
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**FLOOR PLAN LEGEND:**

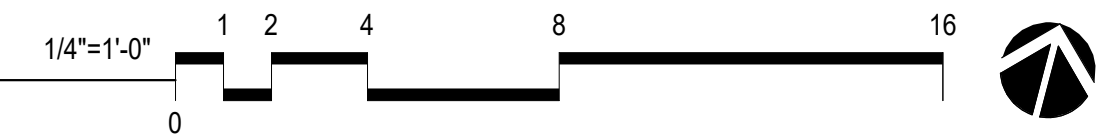
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- RECESSED EXHAUST FAN
- SMOKE ALARM
- CARBON MONOXIDE ALARM
- DOWNSPOUT
- HEAT DETECTOR

**UPPER FLOOR AREAS:**

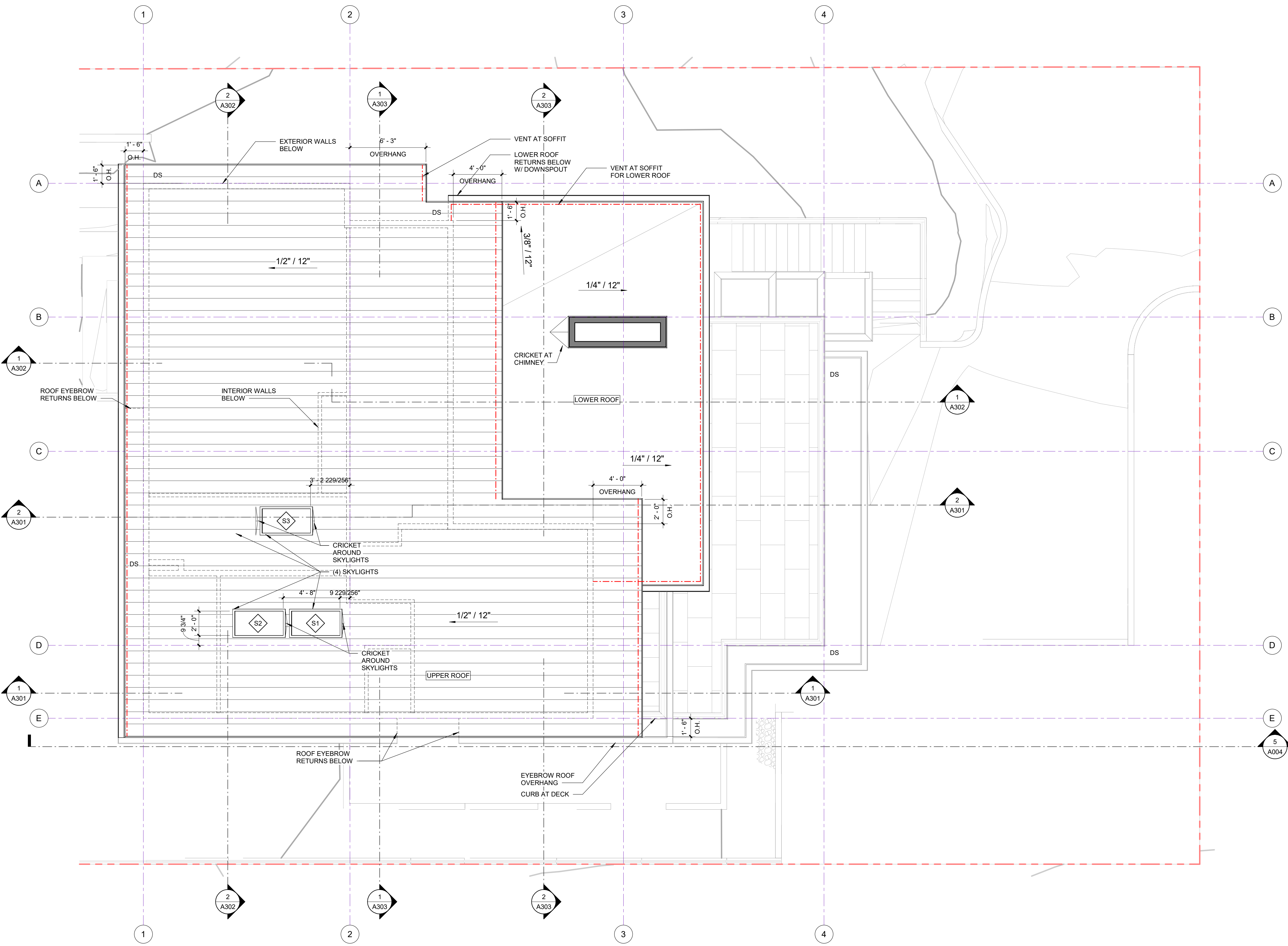
HEATED AREA	1,280 SF
DECK	74 SF



**1 UPPER FLOOR**  
 1/4" = 1'-0"



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**ROOF PLAN NOTES:**

1. SEE STRUCTURAL FOR ROOF FRAMING PLANS.
2. REFER TO MECHANICAL/PLUMBING DRAWINGS FOR PIPE PENETRATIONS.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH THE DIFFERENT TRADES FOR INSTALLATION OF ROOF PENETRATIONS PRIOR TO INSTALLATION OF THE ROOFING MEMBRANE.
4. GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO ENSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS, STOR AND BUILDING SANITARY ARE COMPLETED.
5. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ON ROOF TO ALL ROOF DRAINS
6. CRICKETS MUST MAINTAIN POSITIVE SLOPE TO DRAIN. AT ROOF AND TIE INTO DRAINAGE SYSTEM
7. CONTRACTOR TO VERIFY ALL ROOF DRAIN SLOPES AND ROOF DRAIN ELEVATIONS

**ROOF PLAN LEGEND:**

	CONT. SOFFIT EDGE STRIP VENT
	LINE OF FACE OF STRUCTURE OF WALL BELOW
	4" METAL GUTTER
	ROOF RIDGE VENT
	ROOF W/RIDGE INSULATION
	DOWNSPOUT
	DOWNSPOUT LOCATED UNDER ROOF OVERHANG

**VENTILATION CALCULATION:**

- NOTES:
1. ROOF VENTILATION CALCULATION: CONFIRM WITH IRC R806.
  - HYBRID ROOF INSULATION TO BE USED THROUGHOUT. EXTERIOR SOFFITS WILL BE VENTED WITH NO INSULATION.

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Residence**  
7466 E Mercer Way  
Mercer Island, WA 98040

**BUILDING PERMIT SET**  
**REVISION 1**  
07/17/2025

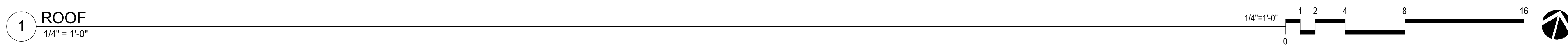
PROJECT NUMBER: 20-0502  
PROJECT MANAGER: JL  
DRAWN BY: AD

REVISIONS:

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ROOF PLAN



**1 ROOF**  
1/4" = 1'-0"

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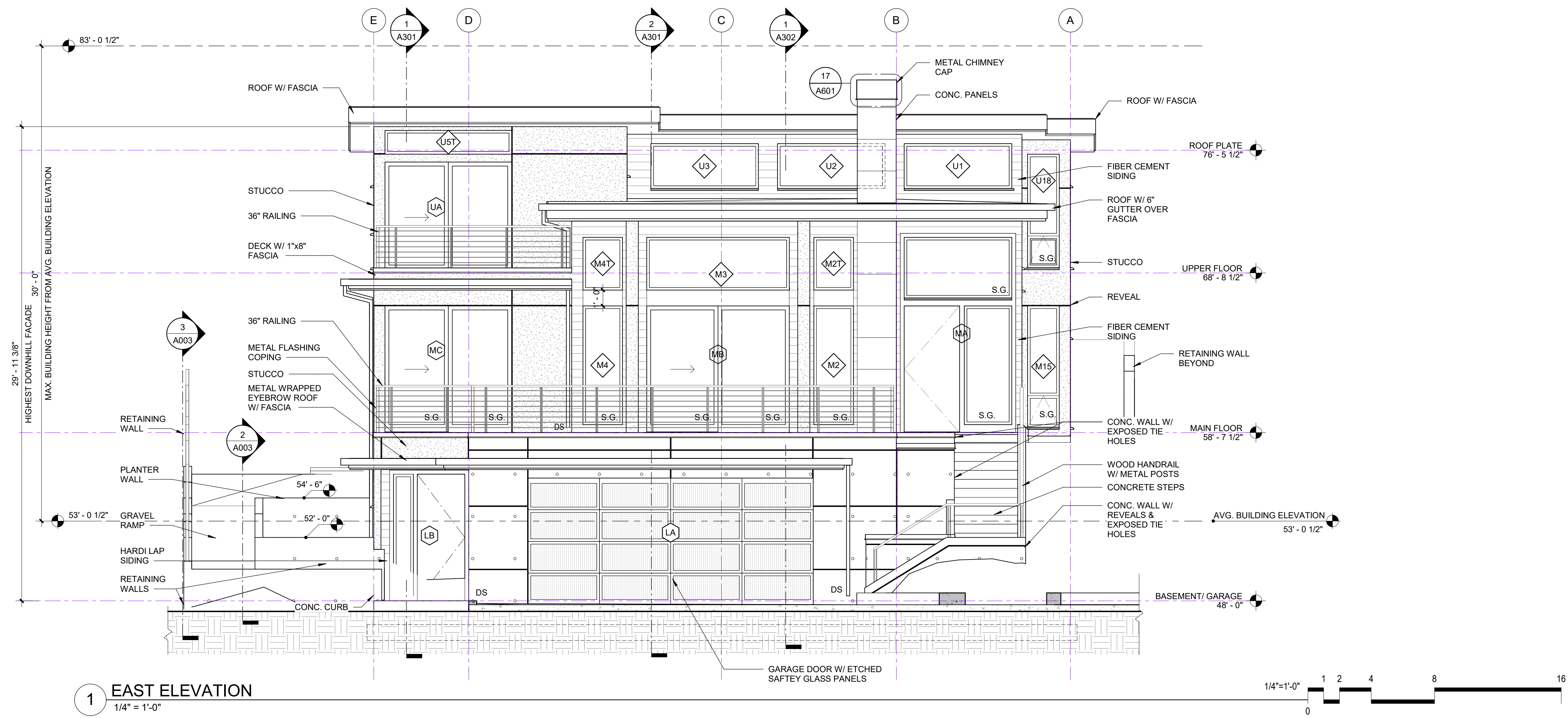
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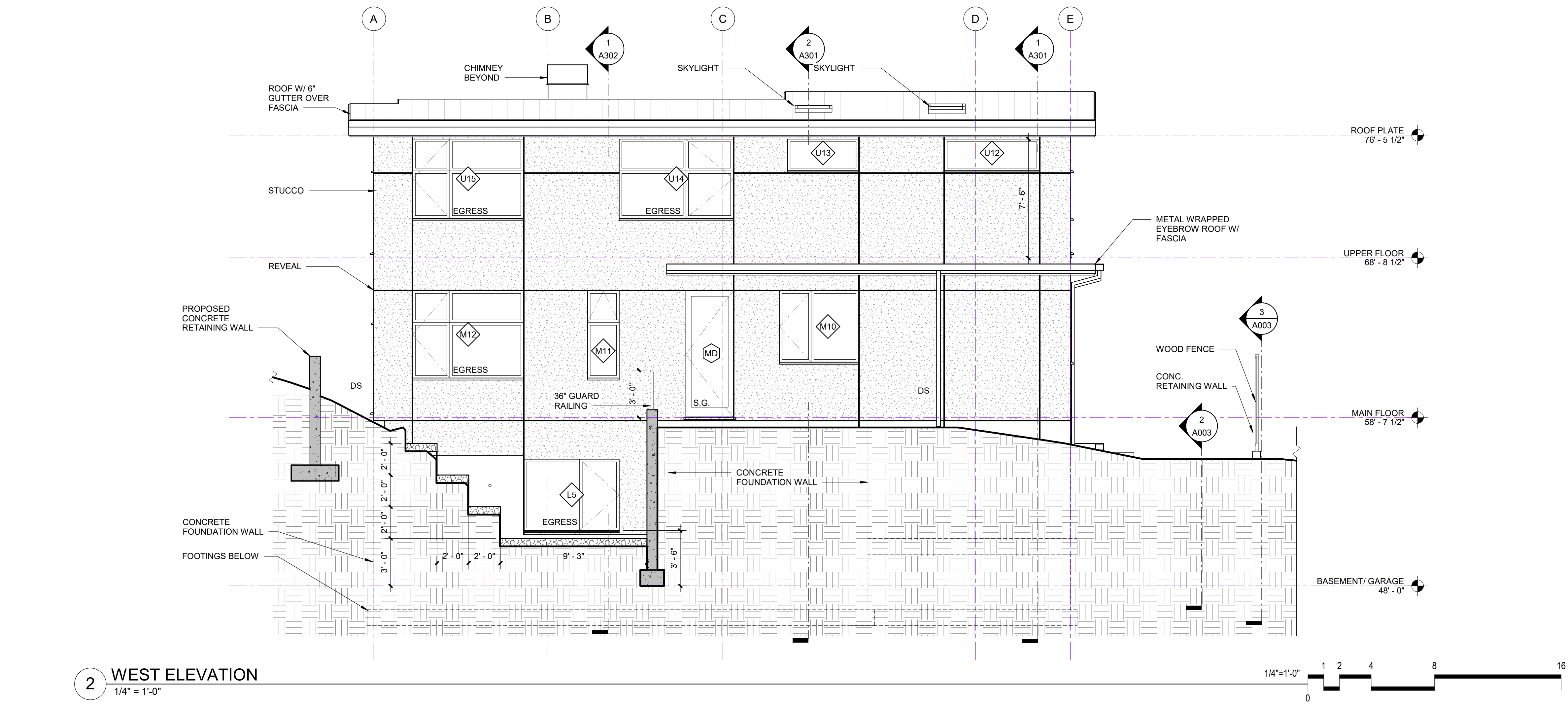
ARCHITECTS  
**baylis**  
 10801 Main Street, #110 Bellevue, WA 98004  
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**BUILDING ELEVATIONS -  
 EAST & WEST**

**A201**



**1 EAST ELEVATION**  
 1/4" = 1'-0"

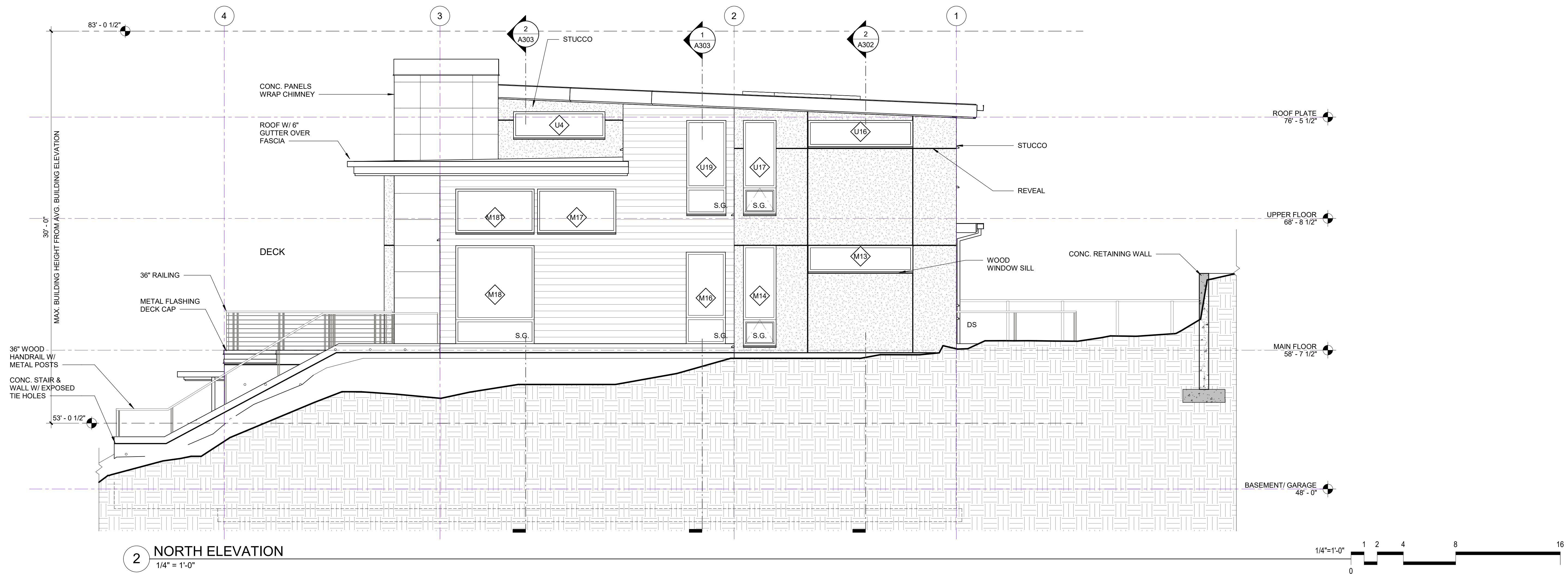
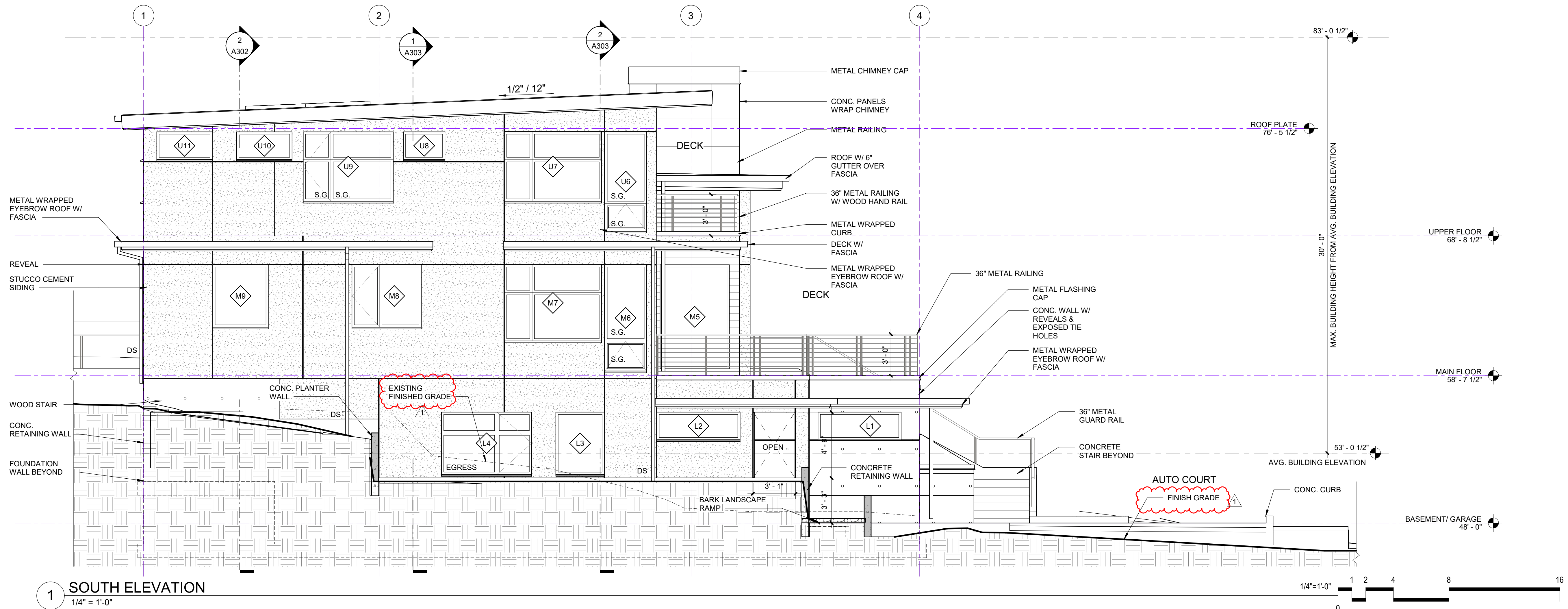


**2 WEST ELEVATION**  
 1/4" = 1'-0"

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1	REVISION 1	07/17/2025



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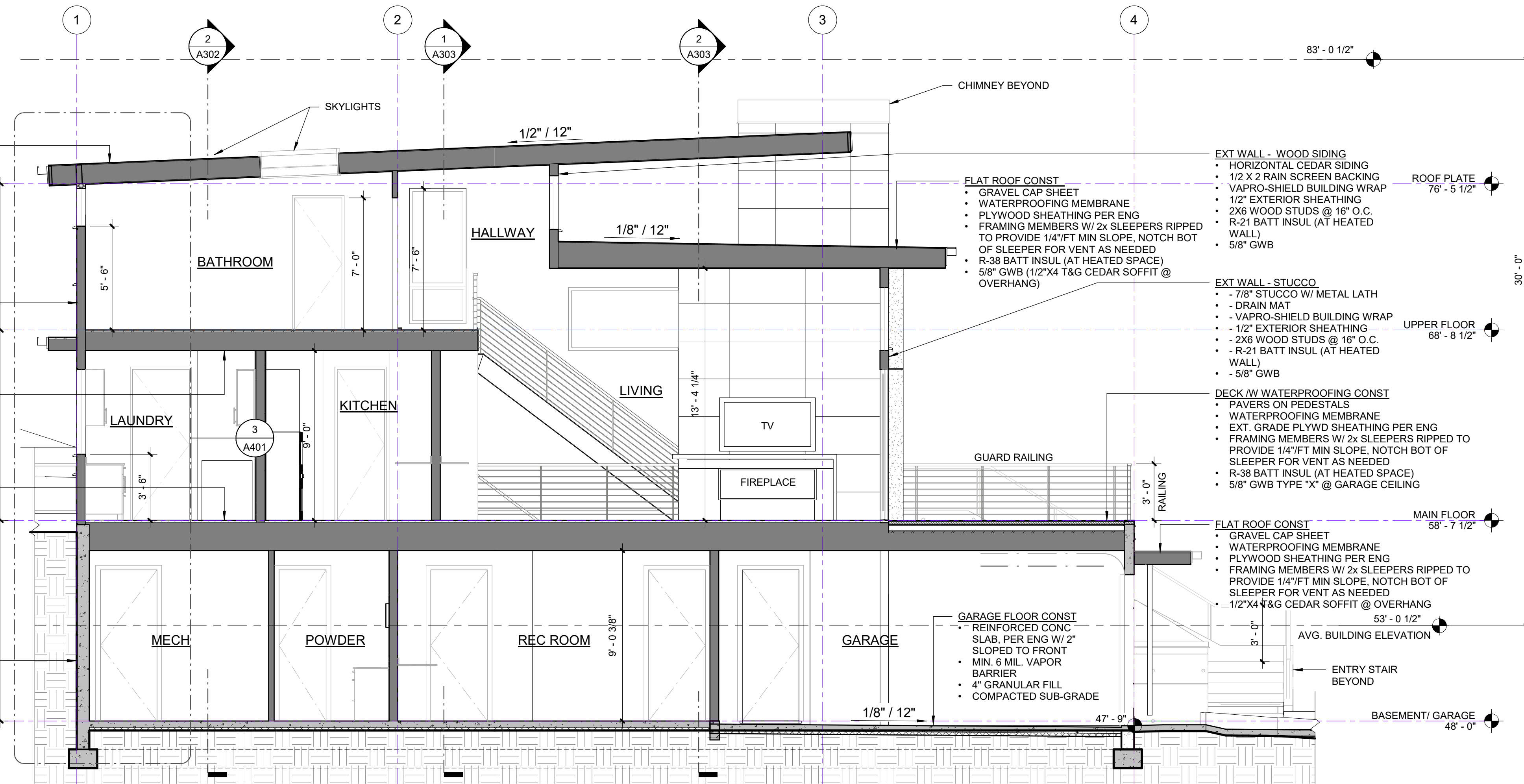
- SLOPED ROOF CONST - HEATED**
- RAISE SEAM METAL ROOF
  - WATERPROOFING MEMBRANE
  - PLYWOOD SHEATHING PER ENG
  - 1 1/2" T&G @ 24" O.C. PER ENG
  - R-38 RED FLASH & BATT SYS W/ SPRAY 2 1/2"
  - 2X10 PAINTED FASCIA
  - W/ METAL GUTTER
  - 5/8" GWB (1/2"X4 T&G CEDAR @ SOFFIT OVERHANG)
  - 1 1/2" CONT. SOFFIT VENTS @ OVERHANG

- EXT WALL - STUCCO**
- 7/8" STUCCO W/ METAL LATH
  - DRAIN MAT
  - VAPRO-SHIELD BUILDING WRAP
  - 1/2" EXTERIOR SHEATHING
  - 2X6 WOOD STUDS @ 16" O.C.
  - R-21 BATT INSUL (AT HEATED WALL)
  - 5/8" GWB

- FLOOR CONST**
- 3/4" FINISHED FLOORING
  - 1 1/8" T&G PLYWOOD SUBFLR
  - 11 7/8" TJI PER ENG
  - R-38 INSUL (AT HEATED SPACE)
  - 5/8" GWB

- FLOOR CONST**
- 3/4" FINISHED FLOORING
  - 1 1/8" T&G PLYWOOD SUBFLR
  - 18" OPEN-WEB TRUSSES, PER ENG
  - R-38 INSUL (AT HEATED SPACE)
  - 5/8" GWB

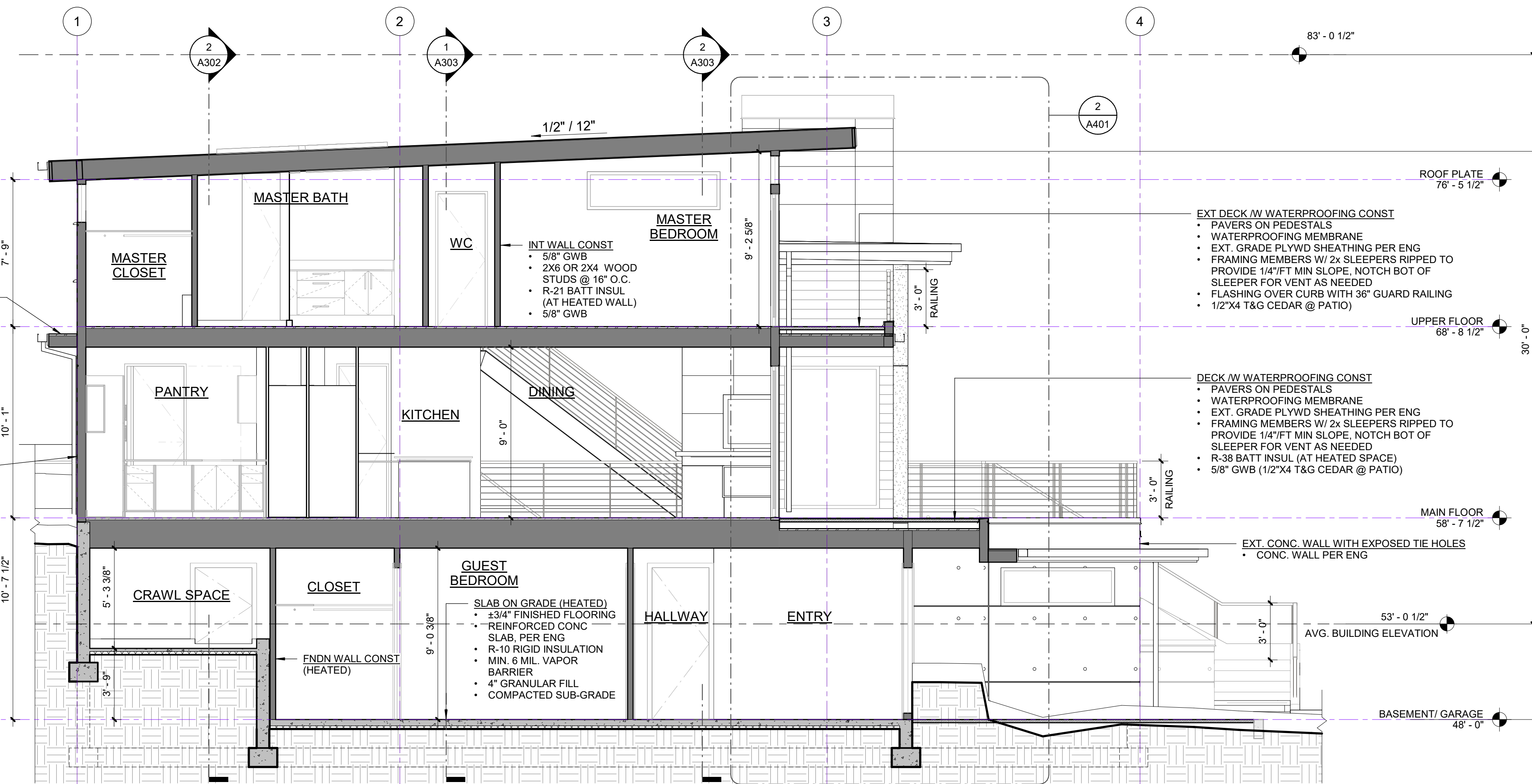
- FNDN WALL CONST (UNHEATED)**
- FILTER FABRIC
  - FREE-DRAINING GRANULAR FILL
  - DRAIN MAT
  - WATERPROOF COATING
  - CONC FOUNDATION WALL, PER ENG



**2 BUILDING SECTION THROUGH GARAGE & LIVING**  
1/4" = 1'-0"

- FLAT ROOF CONST**
- GRAVEL CAP SHEET
  - WATERPROOFING MEMBRANE
  - PLYWOOD SHEATHING PER ENG
  - FRAMING MEMBERS W/ 2x SLEEPERS RIPPED TO PROVIDE 1/4" FT MIN SLOPE, NOTCH BOT OF SLEEPER FOR VENT AS NEEDED
  - 1/2" X4 T&G CEDAR @ OVERHANG

- EXT WALL - STUCCO**
- 7/8" STUCCO W/ METAL LATH
  - DRAIN MAT
  - VAPRO-SHIELD BUILDING WRAP
  - 1/2" EXTERIOR SHEATHING
  - 2X6 WOOD STUDS @ 16" O.C.
  - R-21 BATT INSUL (AT HEATED WALL)
  - 5/8" GWB



**1 BUILDING SECTION THROUGH BASEMENT ENTRY & MASTER BEDROOM**  
1/4" = 1'-0"

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**Ramayah Subramanian  
Residence**  
7466 E Mercer Way  
Mercer Island, WA 98040

**BUILDING PERMIT SET**  
REVISION 1  
07/17/2025

PROJECT NUMBER: 20-0502  
PROJECT MANAGER: JL  
DRAWN BY: AD

REVISIONS:

NO.	DESCRIPTION	DATE

ARCHITECTS  
**baylis**  
10801 Main Street, #110 Bellevue, WA 98004  
(425) 454 0566 | BaylisArchitects.com

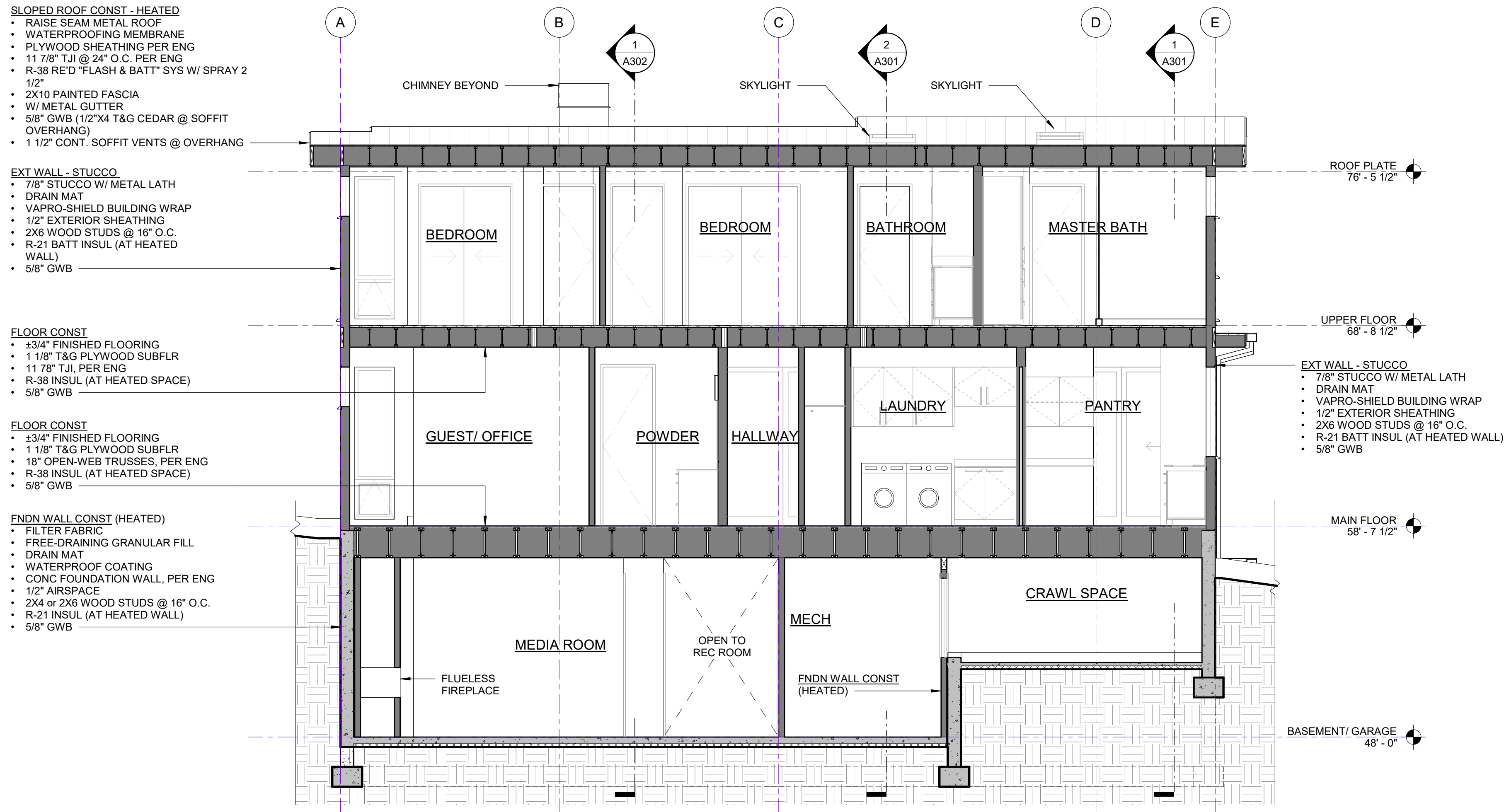
BUILDING SECTION

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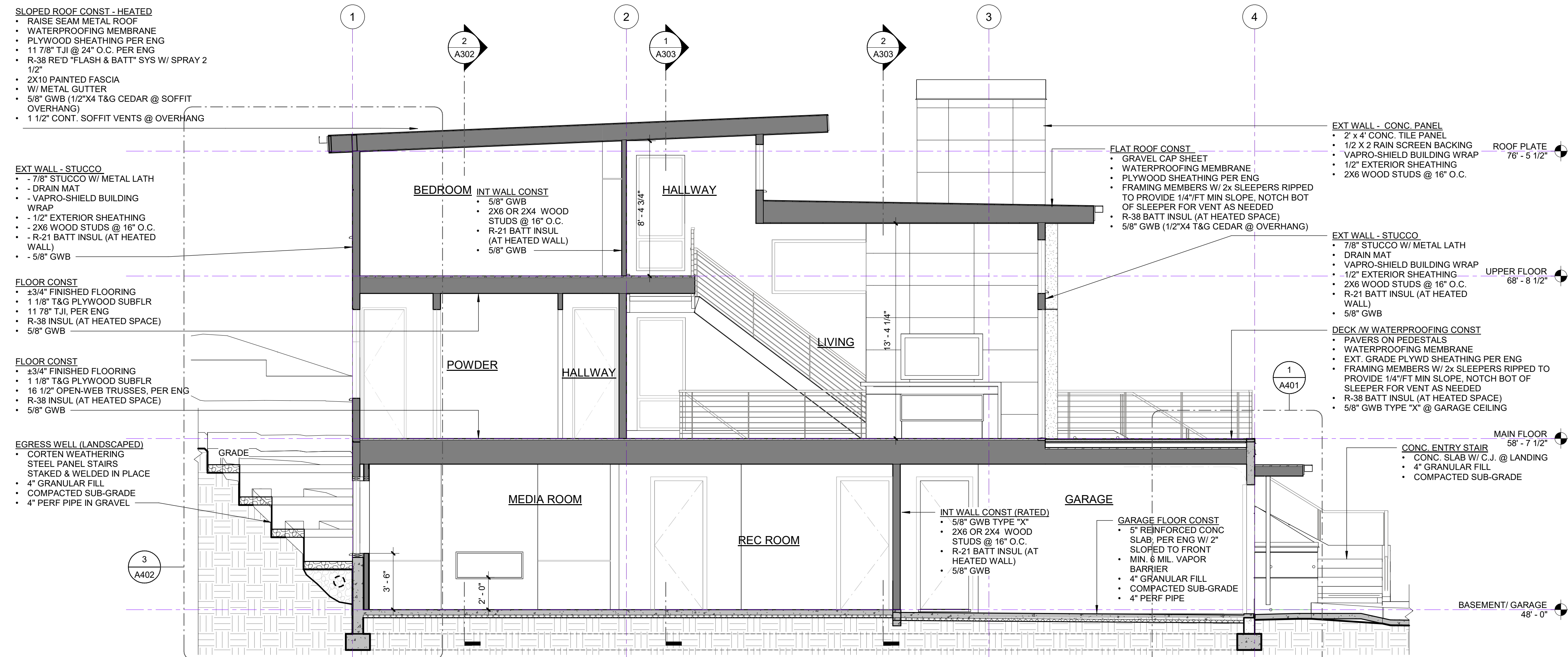
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REVISIONS:

NO.	DESCRIPTION	DATE



**2 BUILDING SECTION THROUGH MEDIA ROOM & CRAWL SPACE**  
 1/4" = 1'-0"



**1 BUILDING SECTION THROUGH GARAGE & LIVING ROOM**  
 1/4" = 1'-0"

7/17/2025 10:29:57 AM

- FLAT ROOF CONST GRAVEL CAP SHEET**
- GRAVEL CAP SHEET
  - WATERPROOFING MEMBRANE
  - PLYWOOD SHEATHING PER ENG
  - FRAMING MEMBERS W/ 2x SLEEPERS RIPPED TO PROVIDE 1/4" FT MIN SLOPE, NOTCH BOT OF SLEEPER FOR VENT AS NEEDED
  - R-38 BATT INSUL (AT HEATED SPACE)
  - 5/8" GWB (1/2" X4 T&G CEDAR @ OVERHANG)

- EXT WALL - WOOD SIDING**
- HORIZONTAL CEDAR SIDING
  - 1/2" X 2" RAIN SCREEN BACKING
  - VAPRO-SHIELD BUILDING WRAP
  - 1/2" EXTERIOR SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.
  - R-21 BATT INSUL (AT HEATED WALL)
  - 5/8" GWB

- FNDN WALL CONST (HEATED)**
- FILTER FABRIC
  - FREE-DRAINING GRANULAR FILL
  - DRAIN MAT
  - WATERPROOF COATING
  - CONC FOUNDATION WALL, PER ENG
  - 1/2" AIRSPACE
  - 2x4 or 2x6 WOOD STUDS @ 16" O.C.
  - R-21 INSUL (AT HEATED WALL)
  - 5/8" GWB

- EXT WALL - CONC. PANEL**
- 2' x 4' CONC. TILE PANEL
  - 1/2" X 2" RAIN SCREEN BACKING
  - VAPRO-SHIELD BUILDING WRAP
  - 1/2" EXTERIOR SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.

- INT WALL - CONC. PANEL**
- 2' x 4' CONC. TILE PANEL
  - 1/2" EXTERIOR SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.

- SLOPED ROOF CONST - HEATED**
- RAISE SEAM METAL ROOF
  - WATERPROOFING MEMBRANE
  - PLYWOOD SHEATHING PER ENG
  - 11 7/8" TJI @ 24" O.C. PER ENG
  - R-38 RED "FLASH & BATT" SYS W/ SPRAY 2 1/2"
  - 2X10 PAINTED FASCIA
  - W/ METAL GUTTER
  - 5/8" GWB (1/2" X4 T&G CEDAR @ SOFFIT OVERHANG)
  - 1 1/2" CONT. SOFFIT VENTS @ OVERHANG

ROOF PLATE  
76' - 5 1/2"

UPPER FLOOR  
68' - 8 1/2"

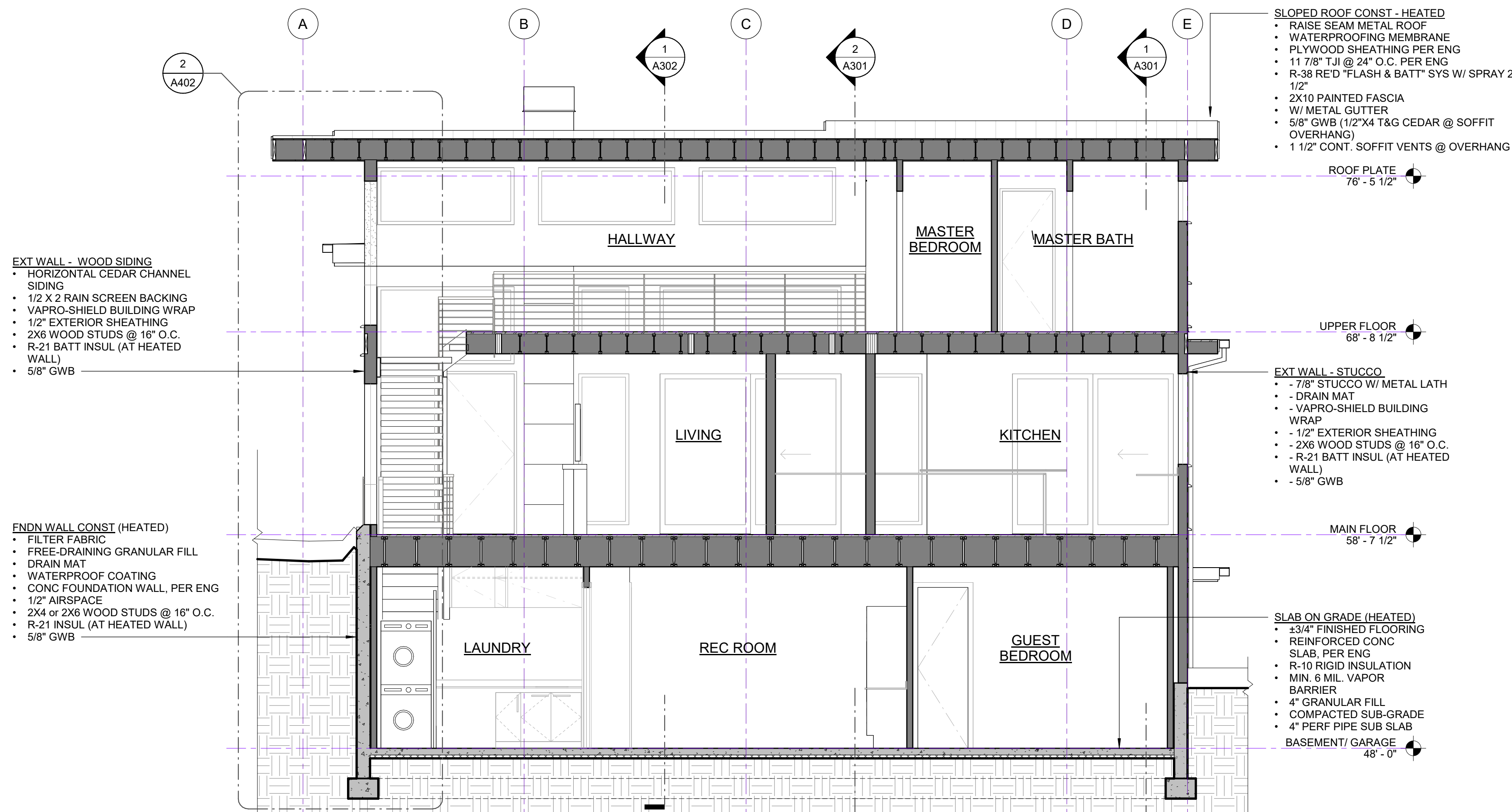
MAIN FLOOR  
58' - 7 1/2"

- EXT WALL - STUCCO**
- 7/8" STUCCO W/ METAL LATH
  - DRAIN MAT
  - VAPRO-SHIELD BUILDING WRAP
  - 1/2" EXTERIOR SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.
  - R-21 BATT INSUL (AT HEATED WALL)
  - 5/8" GWB

BASEMENT/ GARAGE  
48' - 0"

- SLAB ON GRADE (HEATED)**
- 3/4" FINISHED FLOORING
  - REINFORCED CONC SLAB, PER ENG
  - R-10 RIGID INSULATION
  - MIN. 6 MIL. VAPOR BARRIER
  - 4" GRANULAR FILL
  - COMPACTED SUB-GRADE
  - 4" PERF PIPE SUB SLAB

**2 BUILDING SECTION THROUGH REC & LIVING ROOMS**  
1/4" = 1'-0"



- EXT WALL - WOOD SIDING**
- HORIZONTAL CEDAR CHANNEL SIDING
  - 1/2" X 2" RAIN SCREEN BACKING
  - VAPRO-SHIELD BUILDING WRAP
  - 1/2" EXTERIOR SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.
  - R-21 BATT INSUL (AT HEATED WALL)
  - 5/8" GWB

- FNDN WALL CONST (HEATED)**
- FILTER FABRIC
  - FREE-DRAINING GRANULAR FILL
  - DRAIN MAT
  - WATERPROOF COATING
  - CONC FOUNDATION WALL, PER ENG
  - 1/2" AIRSPACE
  - 2x4 or 2x6 WOOD STUDS @ 16" O.C.
  - R-21 INSUL (AT HEATED WALL)
  - 5/8" GWB

- SLOPED ROOF CONST - HEATED**
- RAISE SEAM METAL ROOF
  - WATERPROOFING MEMBRANE
  - PLYWOOD SHEATHING PER ENG
  - 11 7/8" TJI @ 24" O.C. PER ENG
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  - W/ METAL GUTTER
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ROOF PLATE  
76' - 5 1/2"

UPPER FLOOR  
68' - 8 1/2"

MAIN FLOOR  
58' - 7 1/2"

- EXT WALL - STUCCO**
- 7/8" STUCCO W/ METAL LATH
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  - 1/2" EXTERIOR SHEATHING
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  - 5/8" GWB

BASEMENT/ GARAGE  
48' - 0"

- SLAB ON GRADE (HEATED)**
- 3/4" FINISHED FLOORING
  - REINFORCED CONC SLAB, PER ENG
  - R-10 RIGID INSULATION
  - MIN. 6 MIL. VAPOR BARRIER
  - 4" GRANULAR FILL
  - COMPACTED SUB-GRADE
  - 4" PERF PIPE SUB SLAB

**1 BUILDING SECTION THROUGH STAIRS**  
1/4" = 1'-0"

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**Ramayah Subramanian  
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**BUILDING PERMIT SET**  
**REVISION 1**  
07/17/2025

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PROJECT MANAGER: JL  
DRAWN BY: AD

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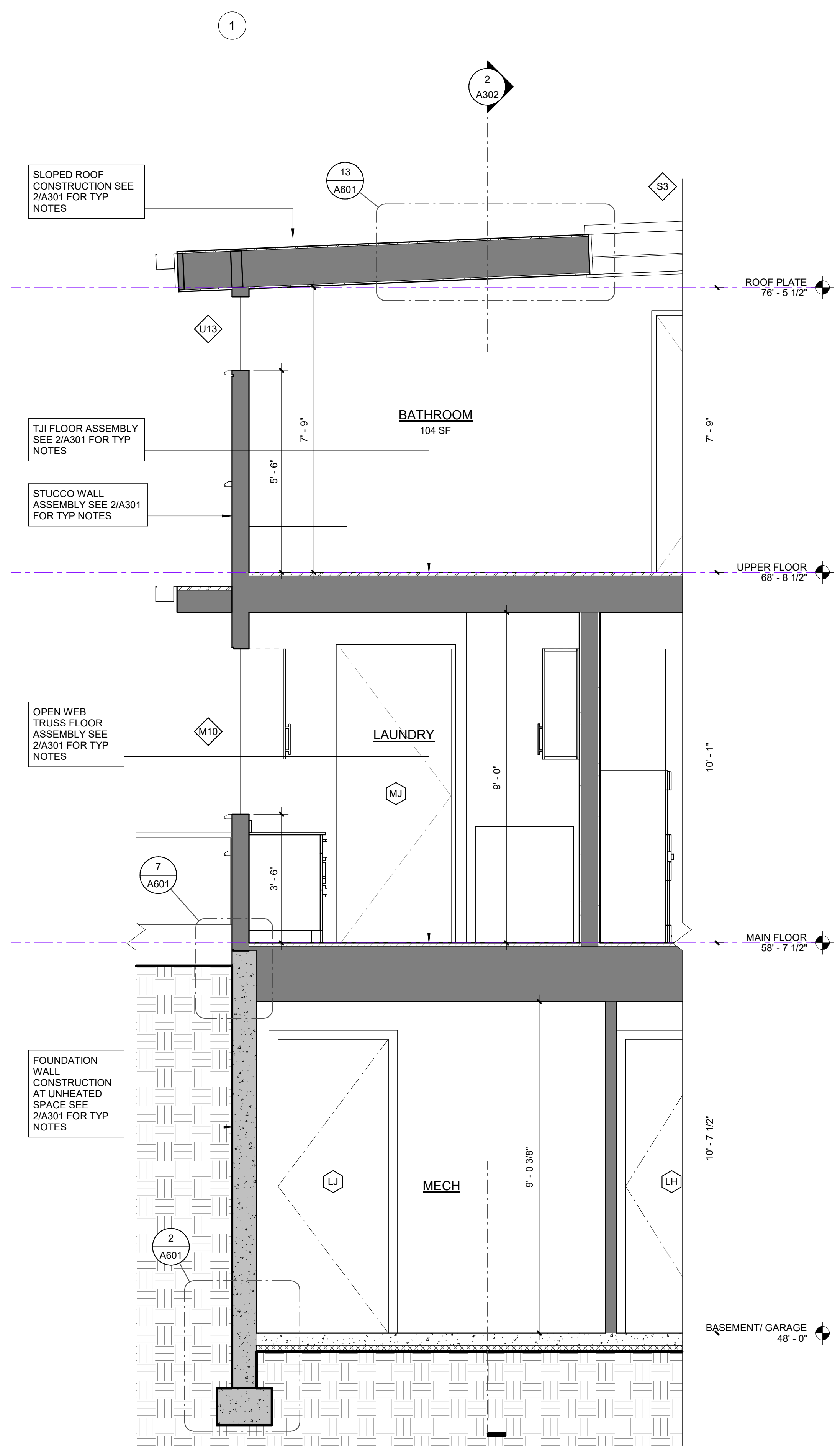
BUILDING SECTION

A303

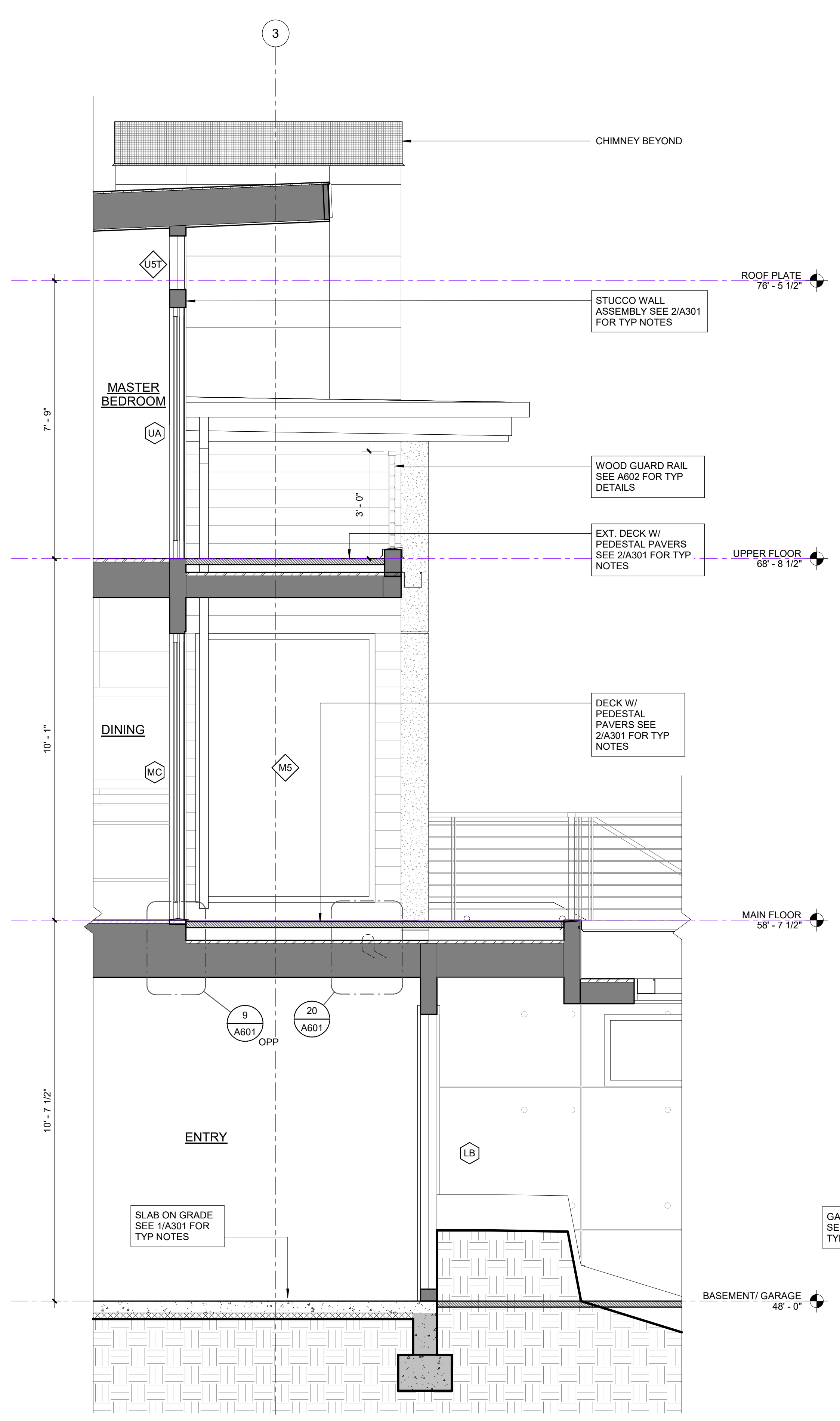
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REVISIONS:

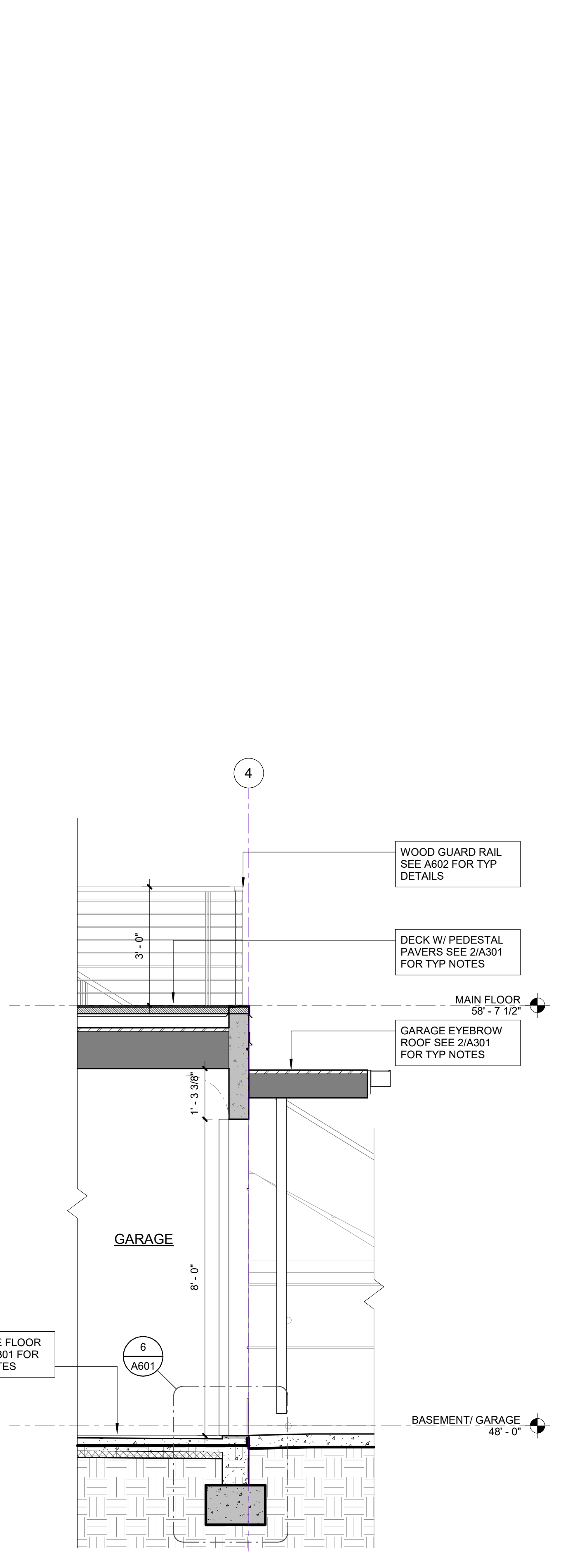
NO.	DESCRIPTION	DATE



**3** WALL SECTION - THRU MECH & SKYLIGHTS  
 1/2" = 1'-0"



**2** WALL SECTION - THRU BASEMENT ENTRY  
 1/2" = 1'-0"



**1** WALL SECTION - THRU GARAGE  
 1/2" = 1'-0"

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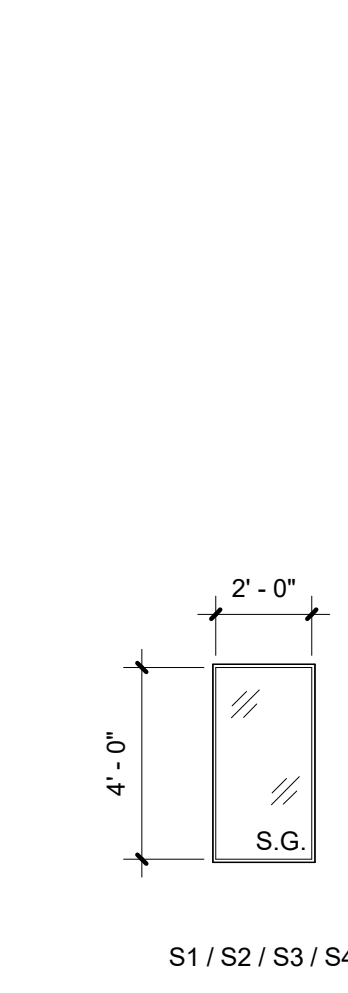
**EXTERIOR WINDOW SCHEDULE**

No.#	LOCATION	ROUGH OPENING (ft-in)		HEAD HEIGHT From Subflr (ft-in)	WINDOW		REMARKS (U-VALUE - 0.28 MAX) (S.G. - SAFETY GL; O.G. - OBSCURE GL; R.S. ROLLER SHADE)
		WIDTH	HEIGHT		TYPE	AREA	
<b>BASEMENT/ GARAGE</b>							
L1	GARAGE	6' - 0"	2' - 0"	8' - 0"	FIXED	12 SF	
L2	ENTRY	6' - 0"	2' - 0"	8' - 0"	FIXED	12 SF	S.G.
L3	HALLWAY	3' - 6"	4' - 6"	8' - 0"	FIXED	16 SF	
L4	GUEST BEDROOM	6' - 6"	4' - 6"	8' - 0"	CASEMENT	29 SF	EGRESS
L5	MEDIA ROOM	6' - 0"	4' - 6"	8' - 0"	CASEMENT	27 SF	EGRESS - WINDOW WELL
<b>MAIN FLOOR</b>							
M2	LIVING	2' - 6"	7' - 6"	8' - 0"	FIXED	19 SF	S.G.
M2T	LIVING	2' - 6"	3' - 4"	12' - 4"	FIXED TRANSOM	8 SF	S.G.
M3	LIVING	9' - 0"	3' - 4"	12' - 4"	FIXED TRANSOM	30 SF	S.G.
M4	LIVING	2' - 6"	7' - 6"	8' - 0"	FIXED	19 SF	S.G.
M4T	LIVING	2' - 6"	3' - 4"	12' - 4"	FIXED TRANSOM	8 SF	S.G.
M5	LIVING	5' - 0"	7' - 6"	8' - 0"	FIXED	38 SF	S.G.
M6	DINING	3' - 0"	7' - 8"	8' - 0"	AWNING	23 SF	S.G.
M7	DINING	7' - 0"	5' - 6"	8' - 0"	FIXED	39 SF	
M8	KITCHEN	5' - 0"	4' - 6"	8' - 0"	CASEMENT	23 SF	
M9	PANTRY	4' - 0"	4' - 6"	8' - 0"	FIXED	18 SF	
M10	LAUNDRY	5' - 0"	4' - 6"	8' - 0"	CASEMENT	23 SF	
M11	POWDER	2' - 0"	5' - 6"	8' - 0"	AWNING	11 SF	
M12	GUEST/ OFFICE	7' - 0"	5' - 6"	8' - 0"	CASEMENT	39 SF	EGRESS
M13	GUEST/ OFFICE	8' - 0"	2' - 0"	8' - 0"	FIXED	16 SF	
M14	GUEST/ OFFICE	2' - 6"	7' - 8"	8' - 0"	AWNING	19 SF	S.G.
M15	GUEST/ OFFICE	2' - 0"	7' - 8"	8' - 0"	AWNING	15 SF	S.G.
M16	ENTRY	3' - 0"	7' - 0"	7' - 6"	FIXED	21 SF	S.G.
M17	ENTRY	6' - 0"	3' - 4"	12' - 4"	FIXED	20 SF	S.G.
M18	ENTRY	6' - 0"	7' - 6"	8' - 0"	FIXED	45 SF	S.G.
M18T	ENTRY	6' - 0"	3' - 4"	12' - 4"	FIXED TRANSOM	20 SF	S.G.

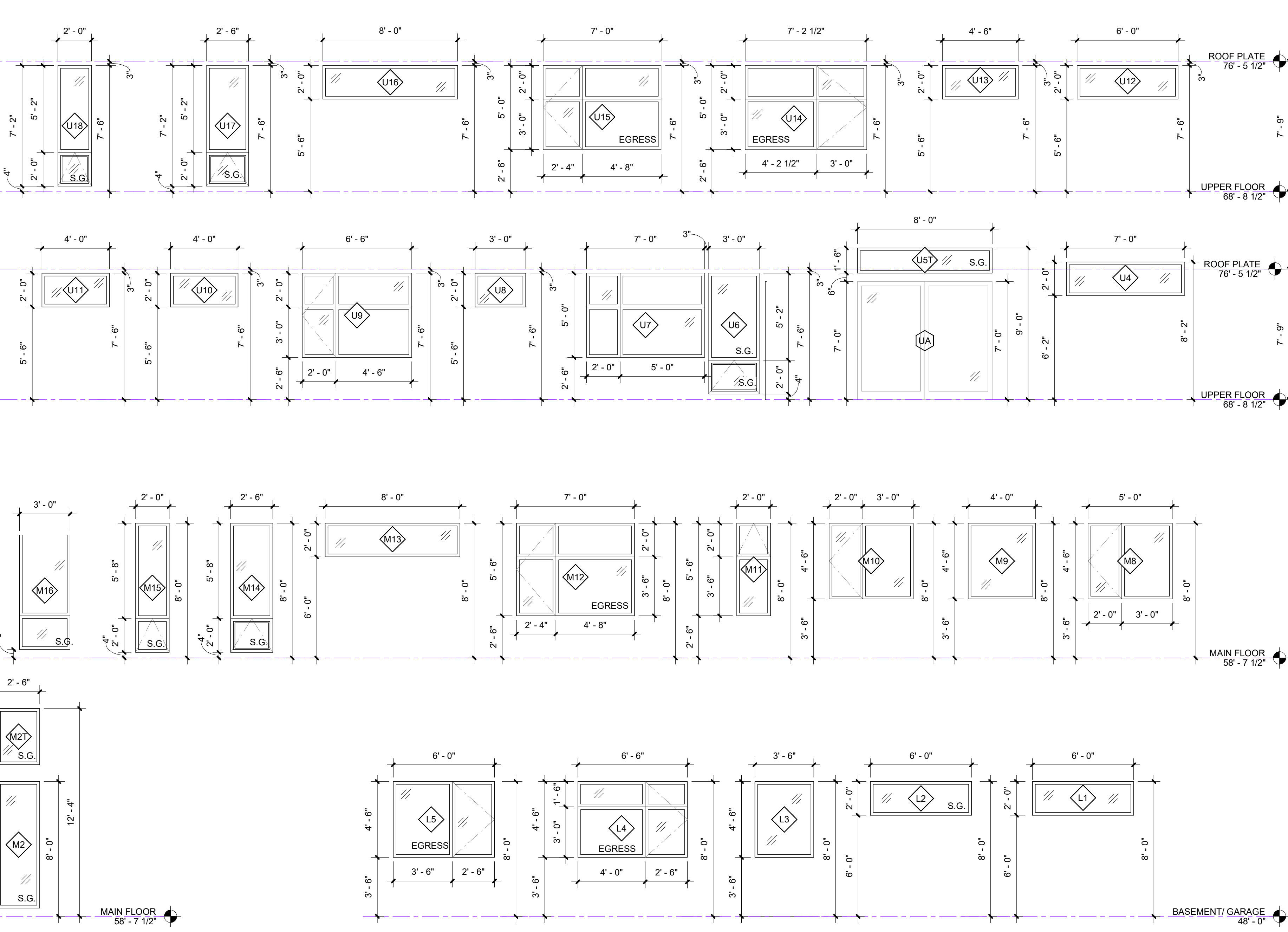
<b>UPPER FLOOR</b>							
U1	HALLWAY	6' - 9 1/2"	2' - 10"	8' - 2"	FIXED	19 SF	
U2	HALLWAY	6' - 9 1/2"	2' - 10"	8' - 2"	FIXED	19 SF	
U3	HALLWAY	6' - 9 1/2"	2' - 10"	8' - 2"	FIXED	19 SF	
U4	MASTER BEDROOM	7' - 0"	2' - 0"	8' - 2"	FIXED	14 SF	
U5T	MASTER BEDROOM	8' - 0"	1' - 6"	9' - 0"	FIXED TRANSOM	12 SF	S.G.
U6	MASTER BEDROOM	3' - 0"	7' - 2"	7' - 6"	AWNING	22 SF	S.G.
U7	MASTER BEDROOM	7' - 0"	5' - 0"	7' - 6"	FIXED	35 SF	
U8	WC	3' - 0"	2' - 0"	7' - 6"	FIXED	6 SF	
U9	MASTER BATH	6' - 6"	5' - 0"	7' - 6"	CASEMENT	33 SF	S.G.
U10	MASTER BATH	4' - 0"	2' - 0"	7' - 6"	AWNING	8 SF	
U11	MASTER CLOSET	4' - 0"	2' - 0"	7' - 6"	FIXED	8 SF	
U12	MASTER CLOSET	6' - 0"	2' - 0"	7' - 6"	FIXED	12 SF	
U13	BATHROOM	4' - 6"	2' - 0"	7' - 6"	FIXED	9 SF	
U14	BEDROOM	7' - 2 1/2"	5' - 0"	7' - 6"	CASEMENT	36 SF	EGRESS
U15	BEDROOM	7' - 0"	5' - 0"	7' - 6"	CASEMENT	35 SF	EGRESS
U16	BEDROOM	8' - 0"	2' - 0"	7' - 6"	FIXED	16 SF	
U17	BEDROOM	2' - 6"	7' - 2"	7' - 6"	AWNING	18 SF	S.G.
U18	BEDROOM	2' - 0"	7' - 2"	7' - 6"	AWNING	14 SF	S.G.
U19	HALLWAY	3' - 0"	7' - 2"	7' - 6"	AWNING	22 SF	S.G.
<b>Total Areas of Windows</b>						<b>905 SF</b>	

**SKYLIGHT SCHEDULE**

No.#	LOCATION	FRAME CENTER TO CENTER		TYPE	AREA	REMARKS
		WIDTH	HEIGHT			
S1	MASTER BATH	2' - 0"	4' - 0"	FIXED	8 SF	S.G.
S2	MASTER BATH	2' - 0"	4' - 0"	FIXED	8 SF	S.G.
S3	BATHROOM	2' - 0"	4' - 0"	FIXED	8 SF	S.G.



**SKYLIGHT LEGENDS**  
1/4" = 1'-0"



**EXTERIOR WINDOW ELEVATIONS**  
1/4" = 1'-0"



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**Ramayiah Subramanian  
Residence**  
7466 E Mercer Way  
Mercer Island, WA 98040

**BUILDING PERMIT SET**  
**REVISION 1**  
07/17/2025

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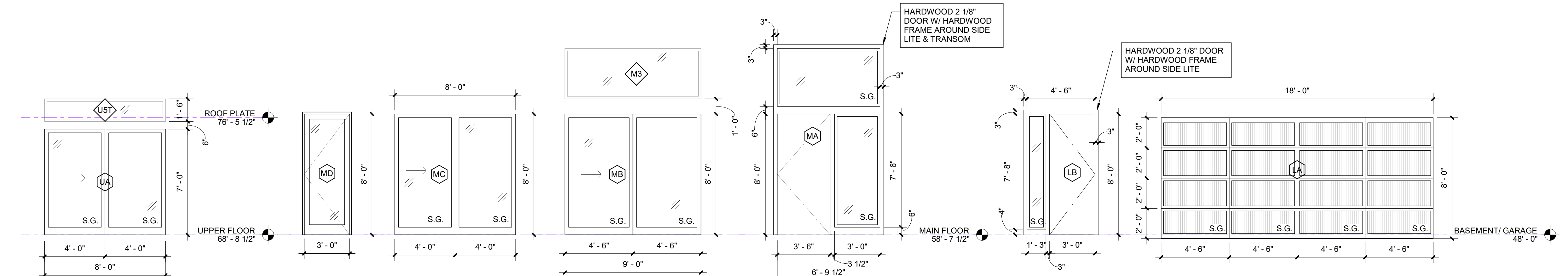
WINDOW & SKYLIGHT SCHEDULES

**A501**

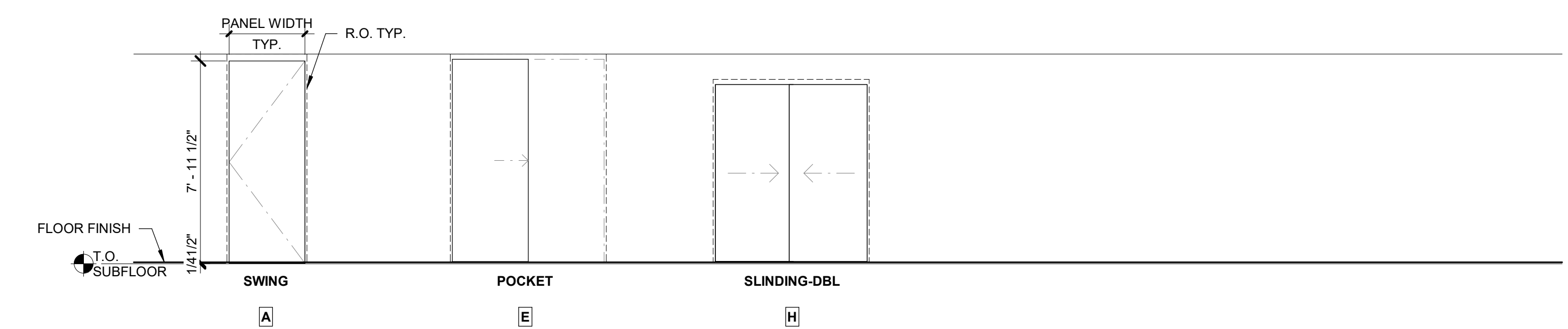
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Ext. Door #	LOCATION	ROUGH OPENING		HEAD HEIGHT From Subflr (ft-in)	DOOR		REMARKS U-VALUE: 0.28 MAX (S.G. - Safety Gl; O.G. - Obscure Gl; R.S. - Roller Shade)
		WIDTH (ft-in)	HEIGHT (ft-in)		TYPE	AREA	
<b>BASEMENT/ GARAGE</b>							
LA	GARAGE	18' - 0"	8' - 0"	7' - 9"	OVERHEAD	144 SF	ALUM.-GLASS; ETCH MATTE S.G.
LB	ENTRY	3' - 0"	8' - 0"	8' - 0"	SWING	24 SF	CUSTOM HARDWOOD DOOR & FRAME; SIDE LITE S.G., TRANSOM S.G.
<b>MAIN FLOOR</b>							
MA	ENTRY	3' - 6"	8' - 0"	8' - 0"	SWING	28 SF	CUSTOM HARDWOOD DOOR & FRAME; SIDE LITE, S.G.
MB	LIVING	9' - 0"	8' - 0"	8' - 0"	SLIDING - 2P	72 SF	S.G.
MC	DINING	8' - 0"	8' - 0"	8' - 0"	SLIDING - 2P	64 SF	S.G.
MD	HALLWAY	3' - 0"	8' - 0"	8' - 0"	SWING	24 SF	S.G., WEATHERSTRIP, THRESHOLD
<b>UPPER FLOOR</b>							
UA	MASTER BEDROOM	8' - 0"	7' - 0"	7' - 0"	SLIDING - 2P	56 SF	S.G.

No.#	From Room: Name	DOOR SIZE		ROUGH HDR FROM SUBFLR	DOOR TYPE #	NAME	DOOR		FRAME		REMARKS (S.G. Safety Glass) (T&W - Threshold & Weatherstrip)
		Width	Height				MAT'L	FINISH	MAT'L	FINISH	
<b>BASEMENT/ GARAGE</b>											
LD	HALLWAY	2' - 6"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LE	GUEST BEDROOM	2' - 6"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LF	GUEST BEDROOM	2' - 6"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LG	BATH	2' - 6"	8' - 0"	8' - 2 1/2"	E	POCKET	WD	PAINT	WD	PAINT	
LH	MEDIA ROOM	2' - 6"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LI	CRAWL SPACE	3' - 0"	4' - 0"	4' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LJ	MEDIA ROOM	3' - 0"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LL	REC ROOM	3' - 0"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LN	REC ROOM	3' - 0"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LO	MUD ROOM	2' - 6"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	
LP	GARAGE	3' - 0"	8' - 0"	8' - 1"	A	SWING	WD	PAINT	WD	PAINT	T&W, 20 MIN. SOLID CORE DOOR, W/ CLOSER
<b>MAIN FLOOR</b>											
ME	HALLWAY	2' - 6"	8' - 0"	8' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
MF	POWDER	2' - 6"	8' - 0"	8' - 2 1/2"	E	POCKET	WD	PAINT	WD	PAINT	
MG	GUEST/ OFFICE	2' - 6"	8' - 0"	8' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
MH	HALLWAY	2' - 6"	8' - 0"	8' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
MJ	HALLWAY	3' - 0"	8' - 0"	8' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
MK	HALLWAY	3' - 0"	8' - 0"	8' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
ML	LAUNDRY	3' - 0"	8' - 0"	8' - 2 1/2"	E	POCKET	WD	PAINT	WD	PAINT	
<b>UPPER FLOOR</b>											
UB	HALLWAY	3' - 0"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UC	MASTER BEDROOM	2' - 6"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UD	MASTER BATH	2' - 6"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UE	MASTER BATH	2' - 6"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UF	HALLWAY	2' - 6"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UG	BATHROOM	2' - 6"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UH	HALLWAY	2' - 6"	7' - 0"	7' - 2 1/2"	A	SWING	WD	PAINT	WD	PAINT	
UI	BEDROOM	5' - 6"	7' - 0"	7' - 2 1/2"	H	SLIDING-DBL	WD	PAINT	WD	PAINT	



**EXTERIOR DOOR ELEVATIONS**  
1/4" = 1'-0"



**INTERIOR DOOR TYPES**  
1/4" = 1'-0"

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NO.	DESCRIPTION	DATE
1	REVISION 1	07/17/2025

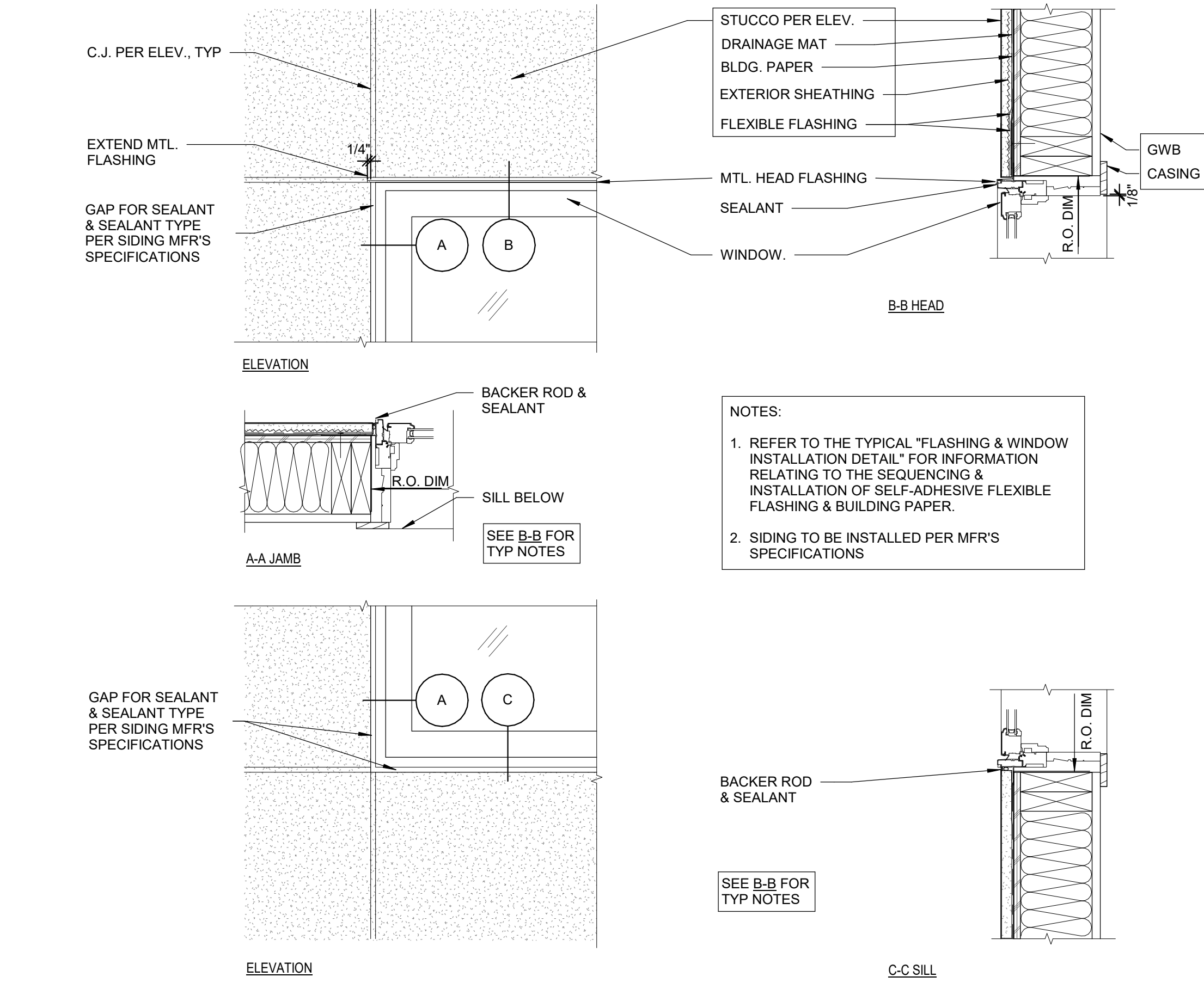
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**baylis**  
10801 Main Street, #110 Bellevue, WA 98004  
(425) 454 0586 | BaylisArchitects.com

**EXTERIOR & INTERIOR  
DOOR SCHEDULES**

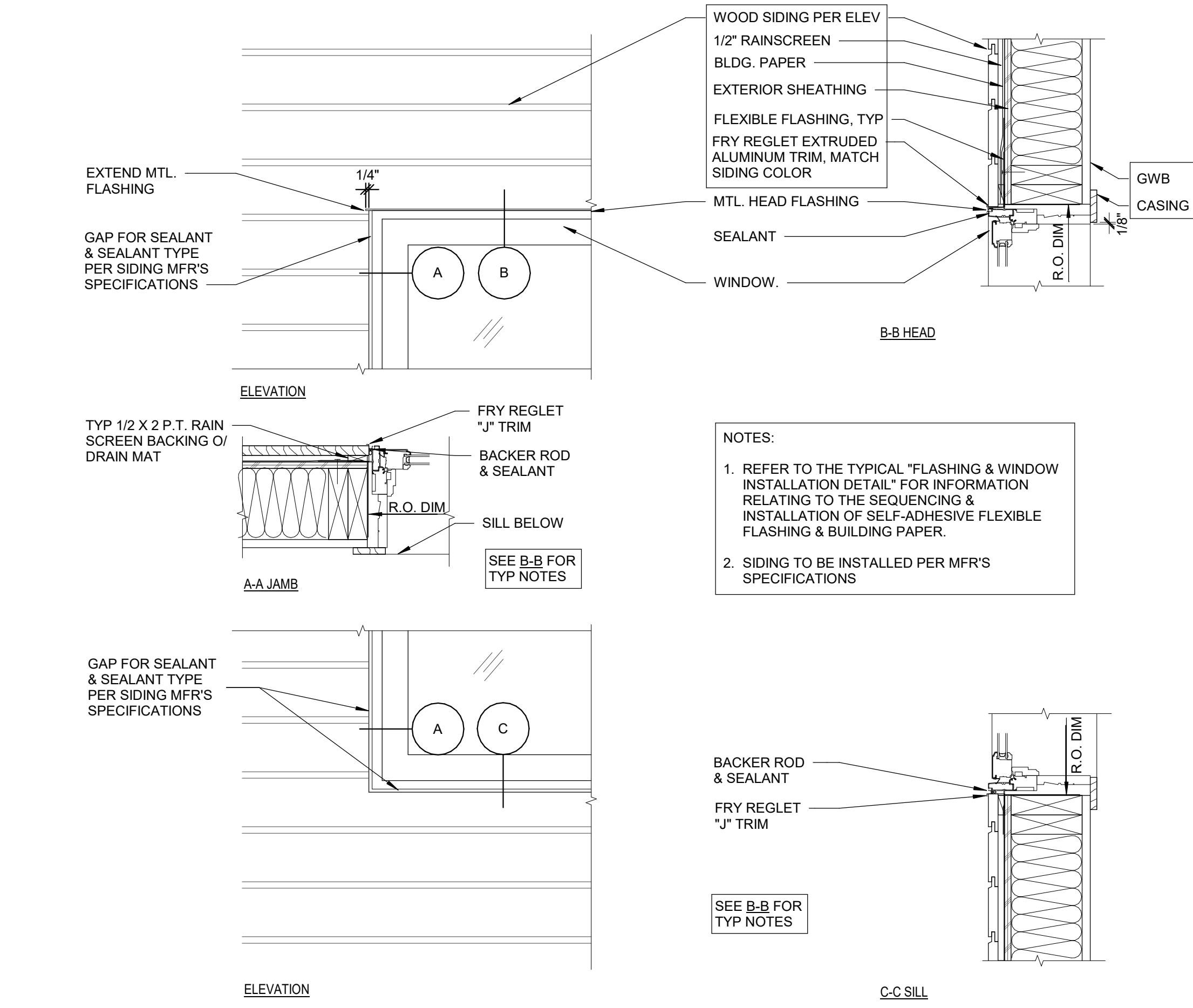


REVISIONS:

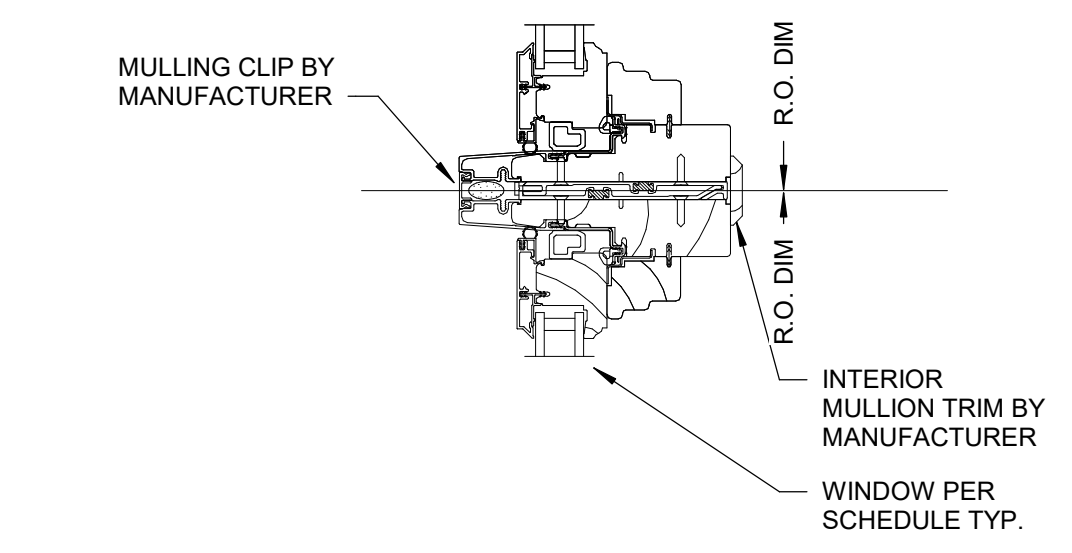
NO.	DESCRIPTION	DATE



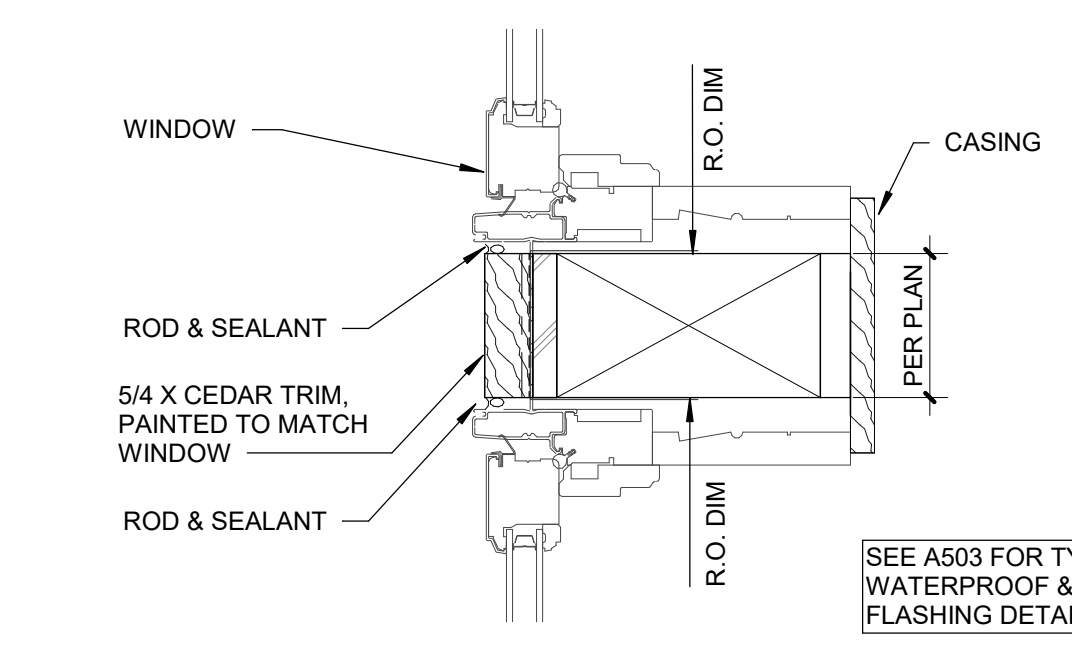
**1 TYP FLASHING & SEALANT DETAILS @ NAILFLANGE WINDOWS - STUCCO**  
 1 1/2" = 1'-0"



**2 TYP FLASHING & SEALANT DETAILS @ NAILFLANGE WINDOWS - WOOD SIDING**  
 1 1/2" = 1'-0"



**3 MULLED WINDOW DETAIL**  
 3" = 1'-0"



**4 WINDOW JAMB BTW WINDOWS**  
 3" = 1'-0"

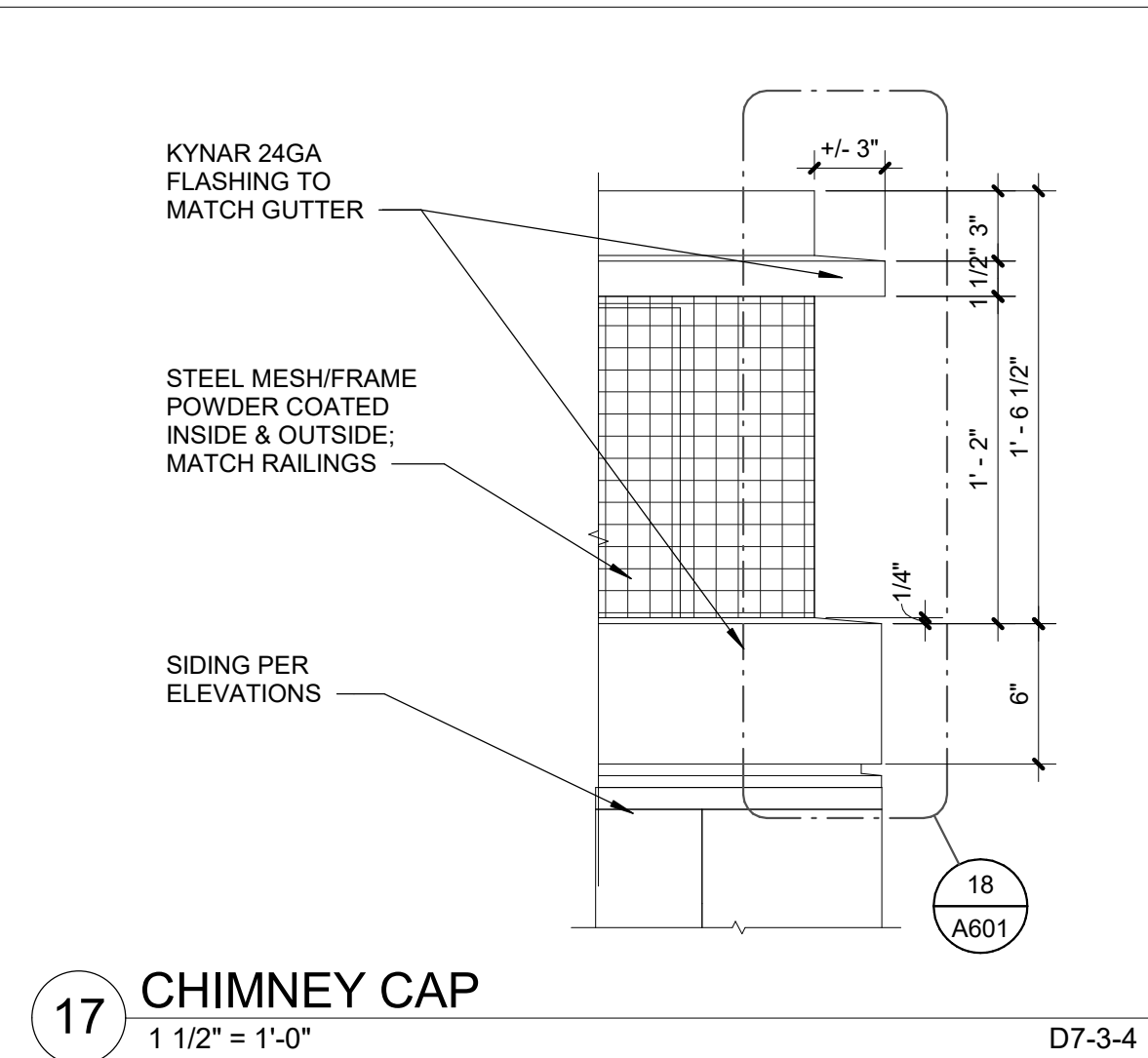
SEE A503 FOR TYP WATERPROOF & FLASHING DETAILS

NOTES:  
 1. REFER TO THE TYPICAL "FLASHING & WINDOW INSTALLATION DETAIL" FOR INFORMATION RELATING TO THE SEQUENCING & INSTALLATION OF SELF-ADHESIVE FLEXIBLE FLASHING & BUILDING PAPER.  
 2. SIDING TO BE INSTALLED PER MFR'S SPECIFICATIONS

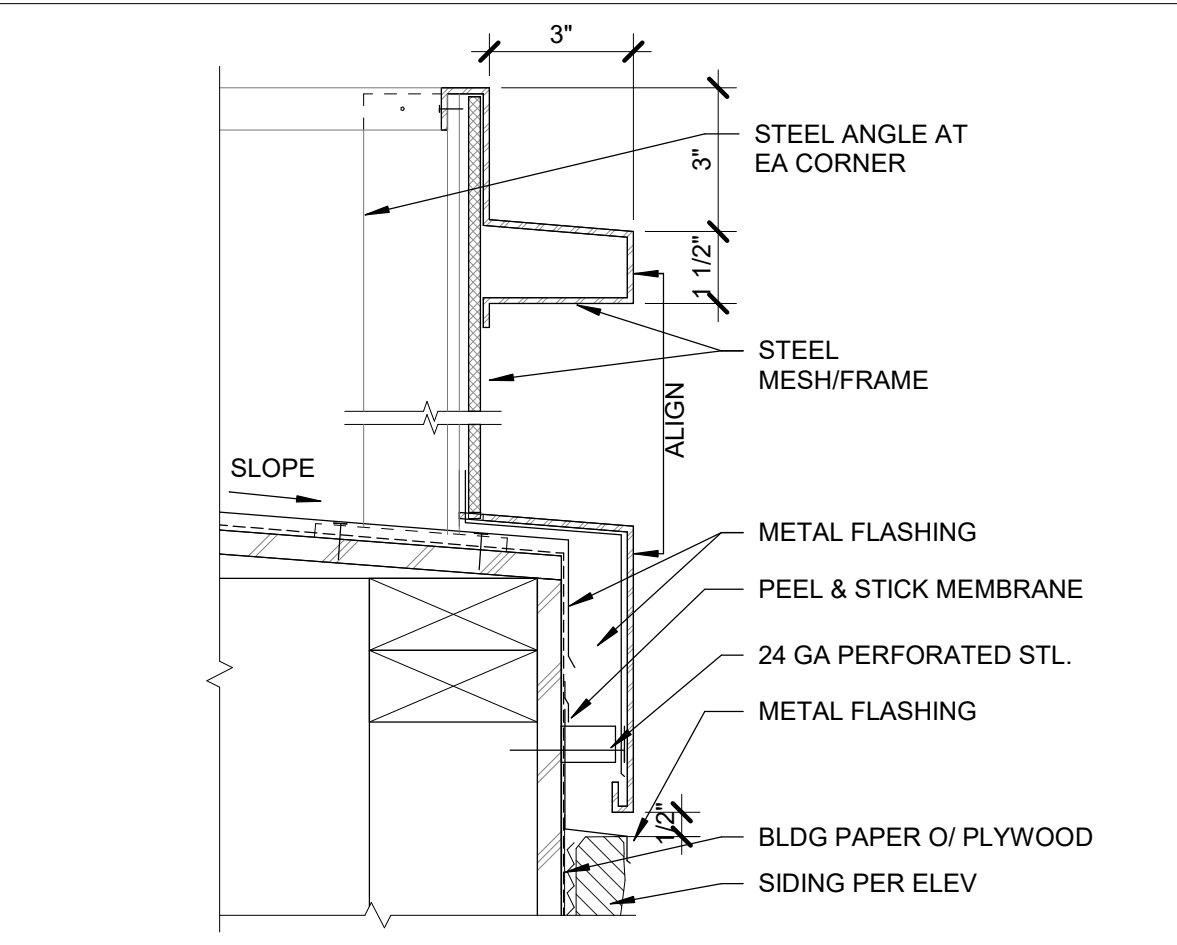
SEE B-B FOR TYP NOTES

SEE B-B FOR TYP NOTES

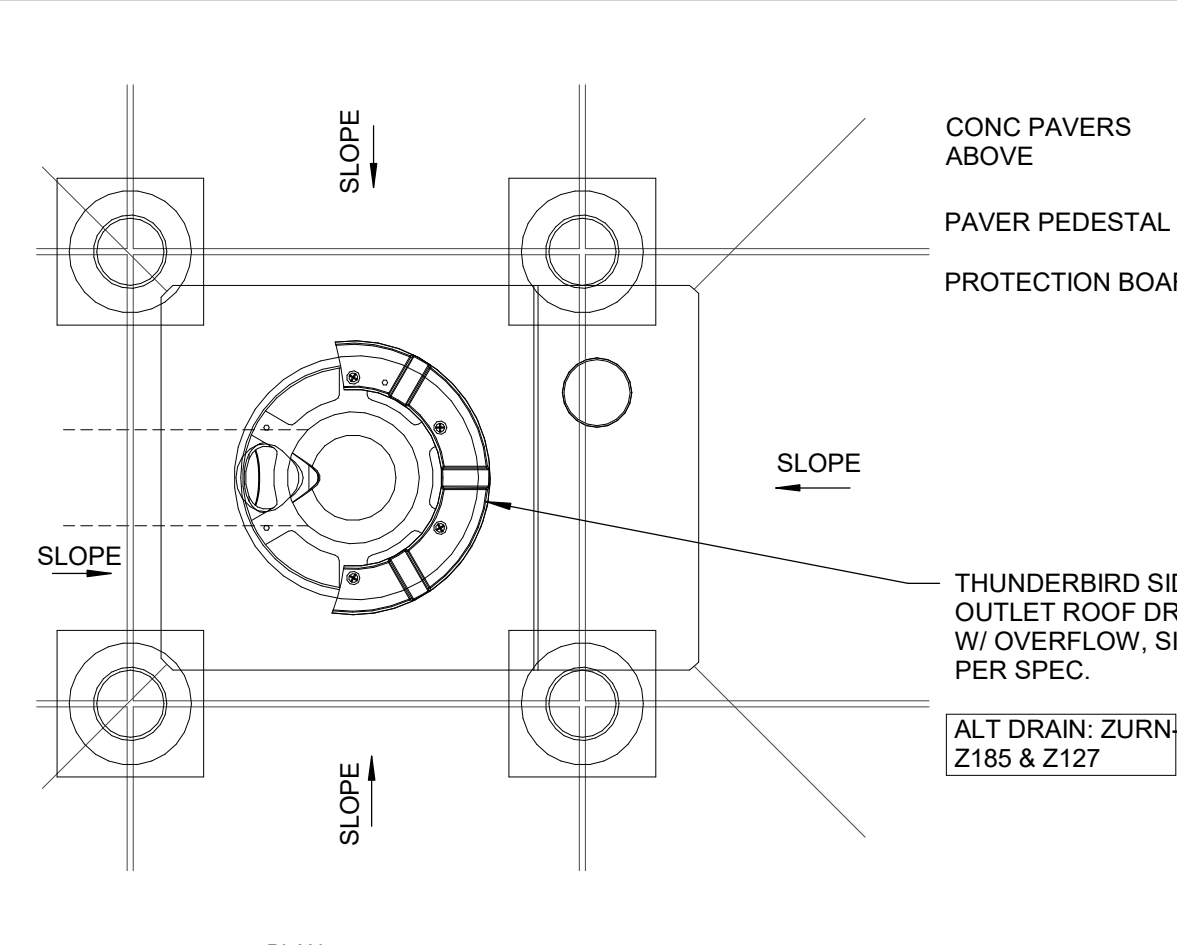
SEE B-B FOR TYP NOTES



**17 CHIMNEY CAP**  
1 1/2" = 1'-0" D7-3-4

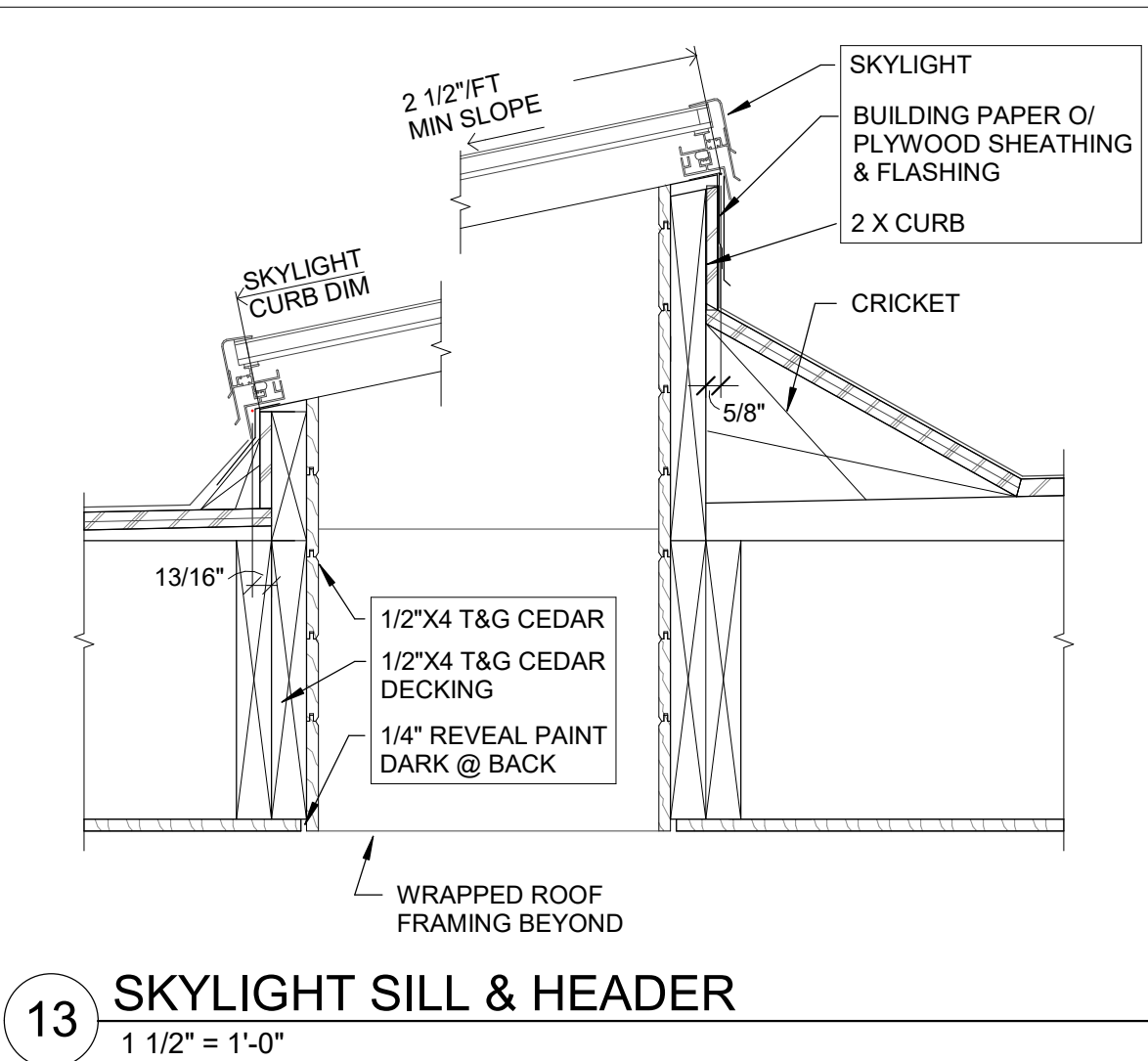


**18 CHIMNEY CAP - METAL**  
3" = 1'-0" D7-3-8

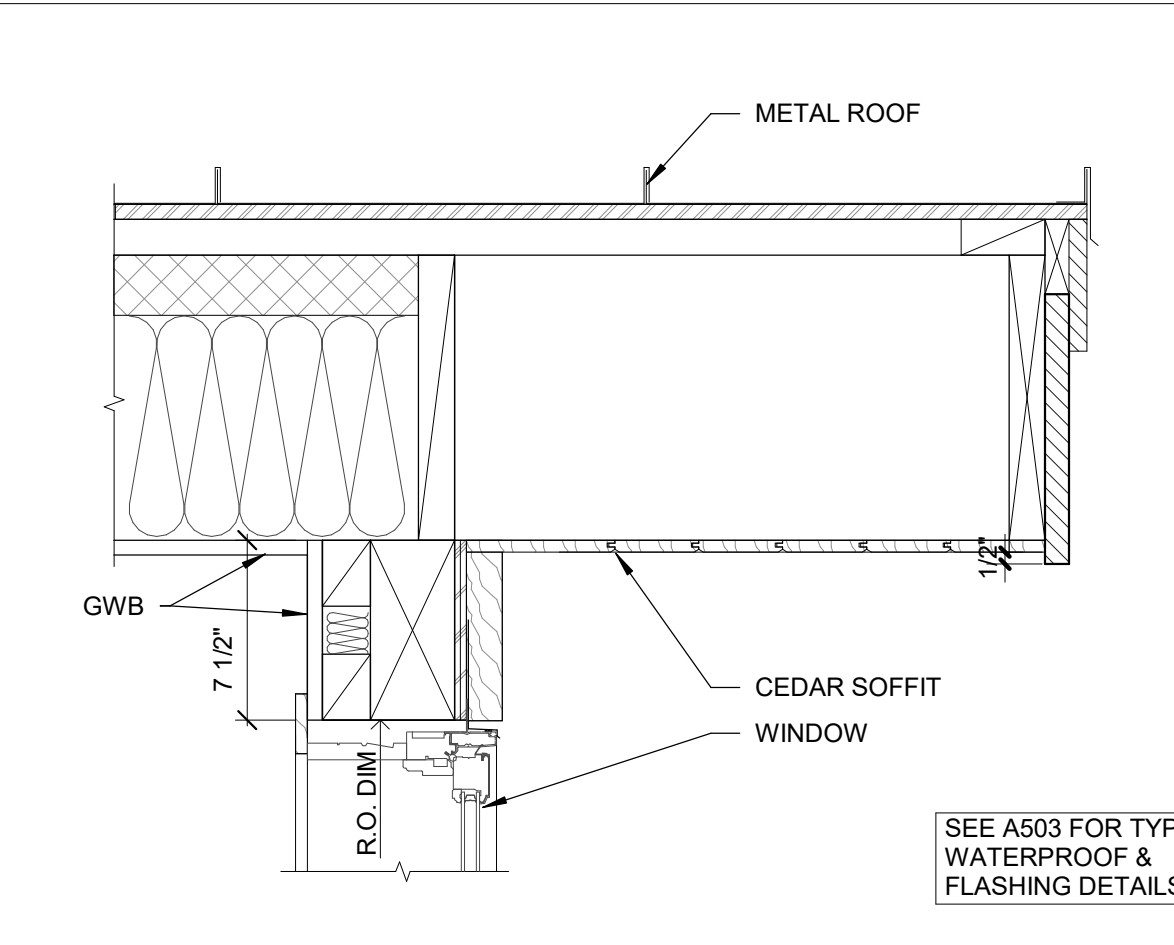


**20 DECK DRAIN**  
1 1/2" = 1'-0"

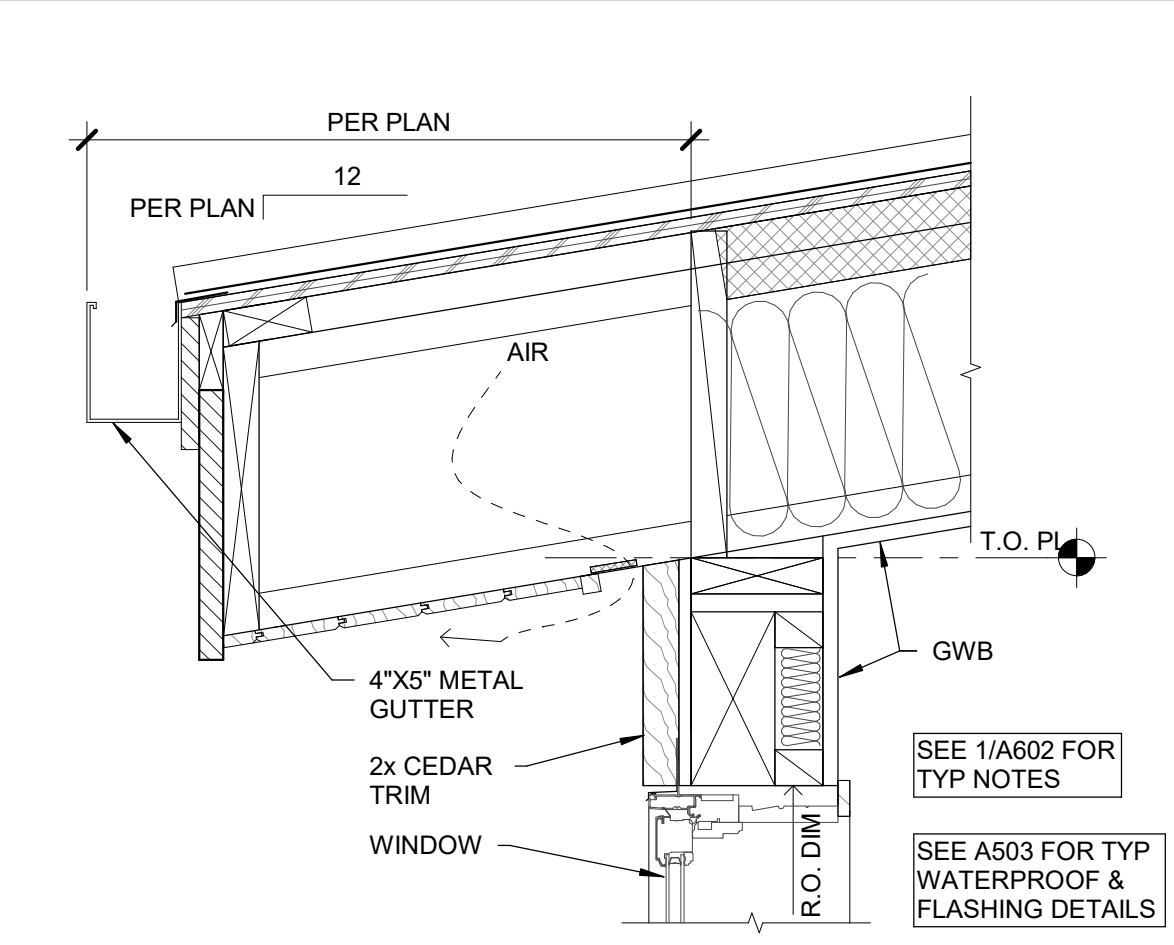
7/17/2025 10:30:25 AM



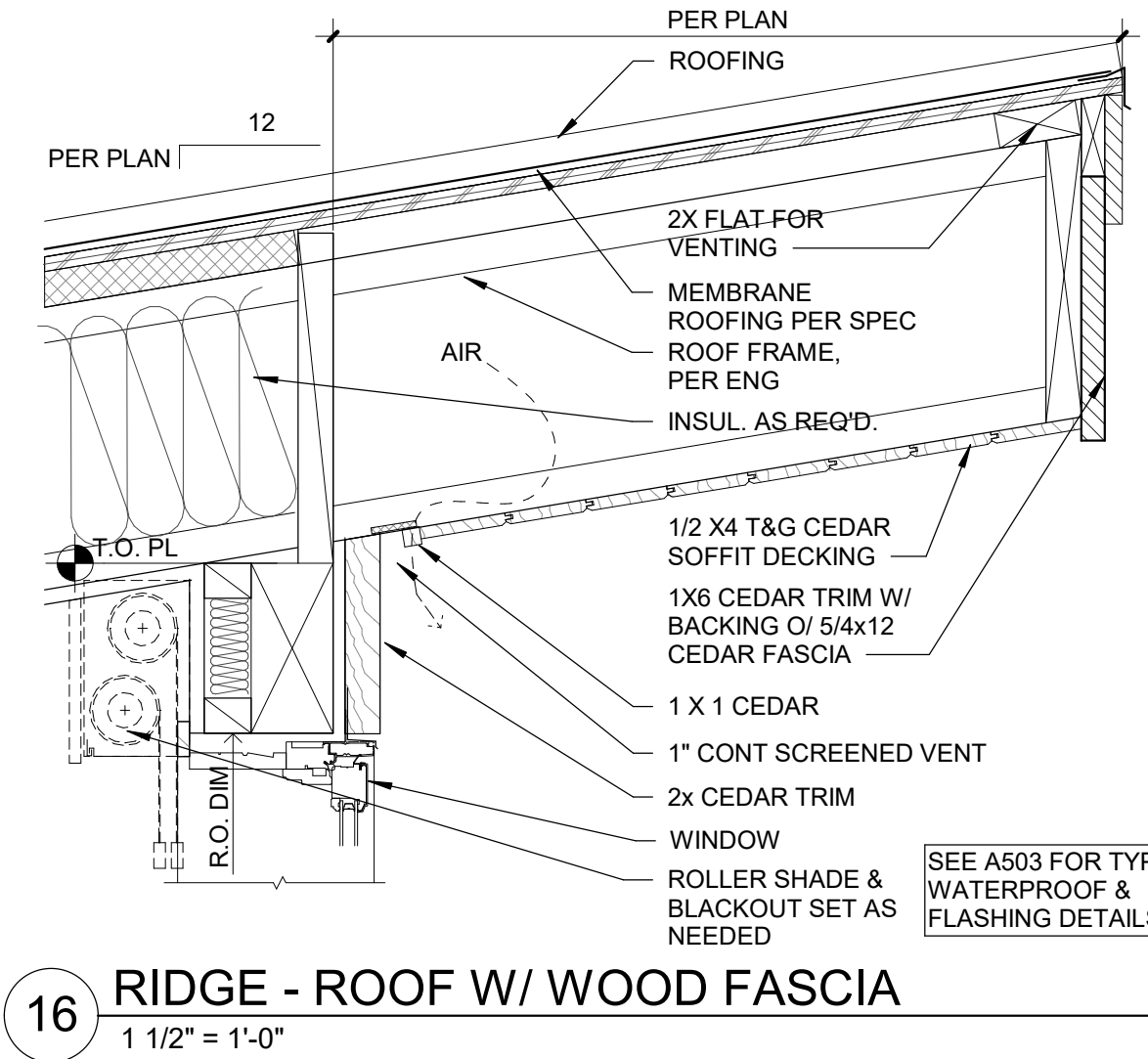
**13 SKYLIGHT SILL & HEADER**  
1 1/2" = 1'-0"



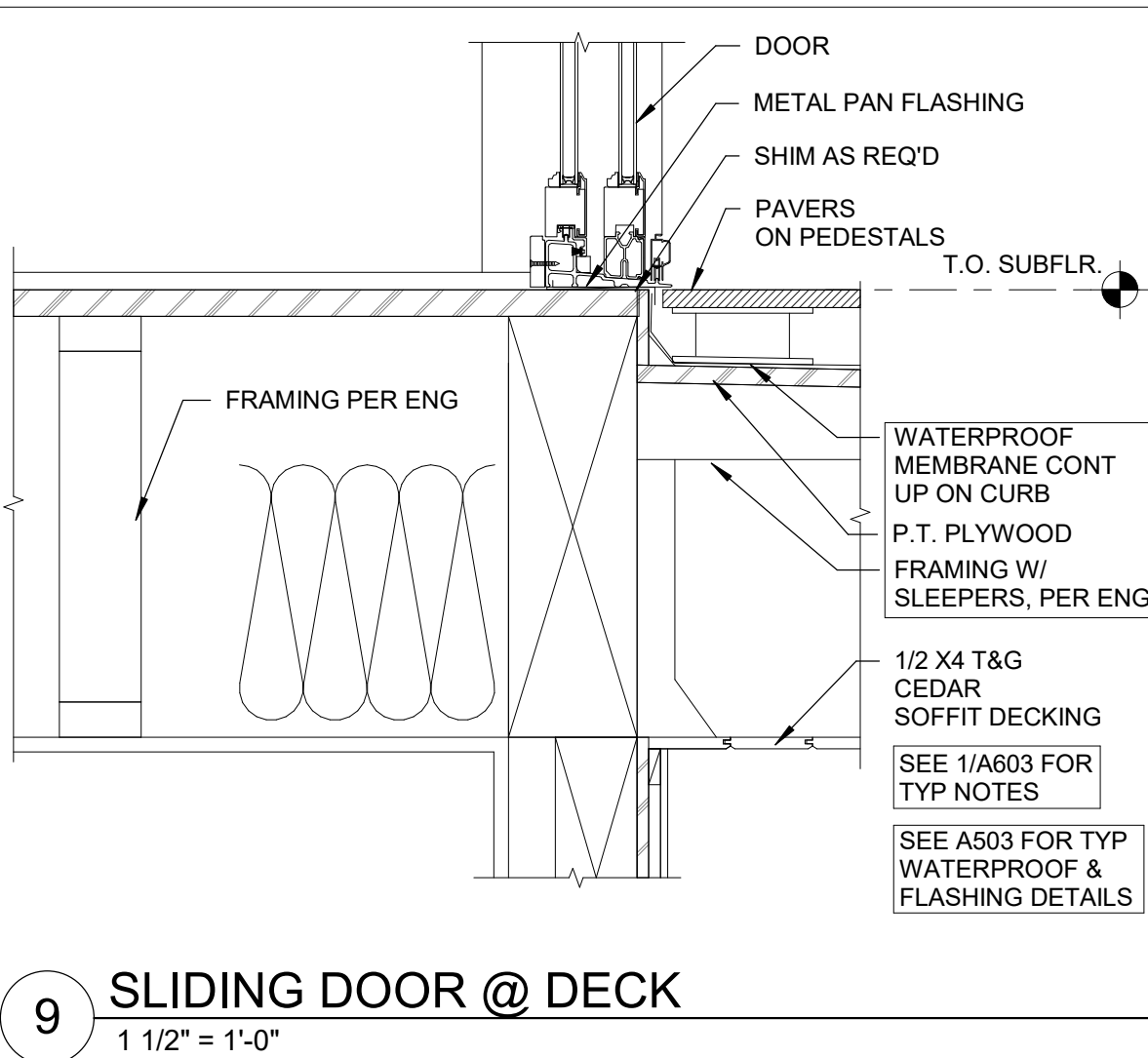
**14 RAKE - ROOF W/ WOOD TRIM**  
1 1/2" = 1'-0"



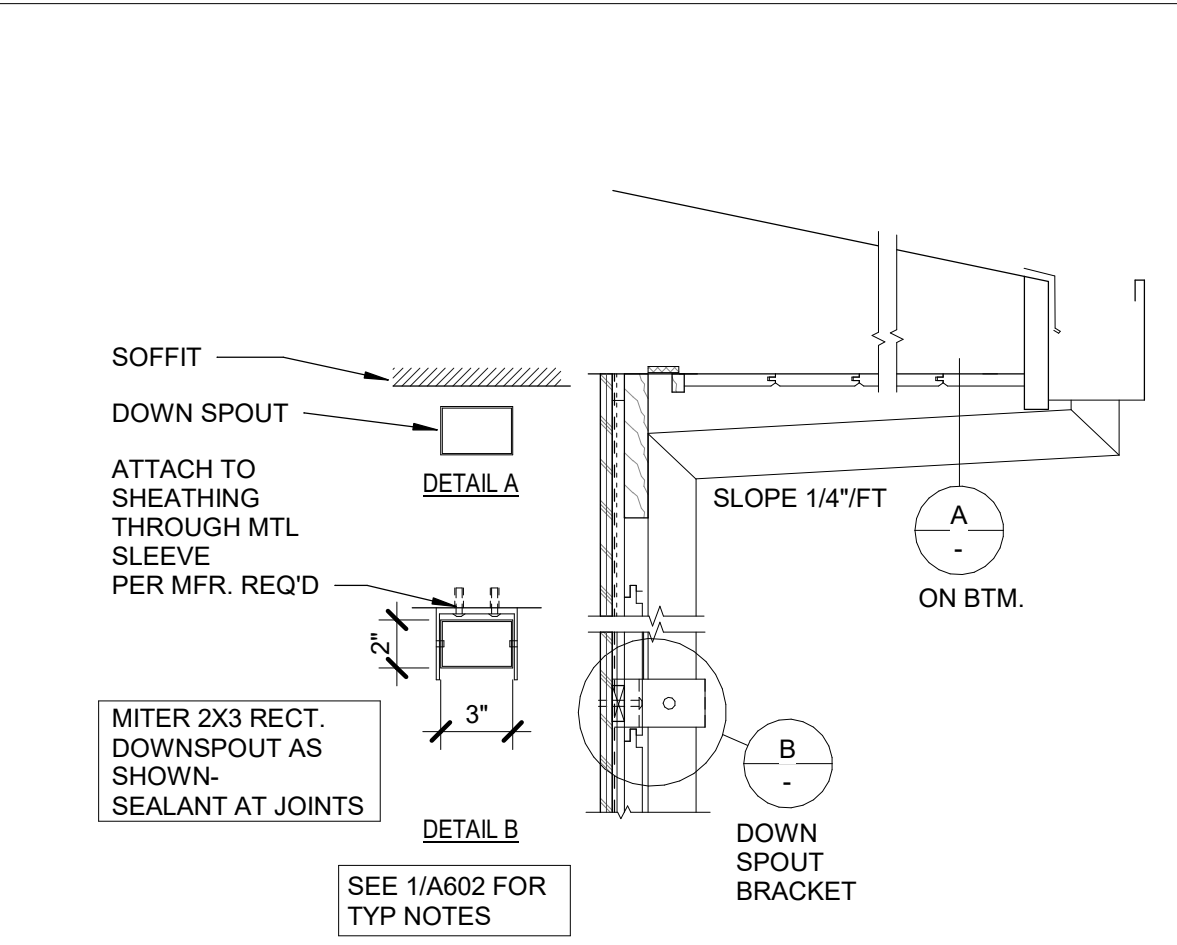
**15 EAVE - ROOF W/ WOOD FASCIA**  
1 1/2" = 1'-0"



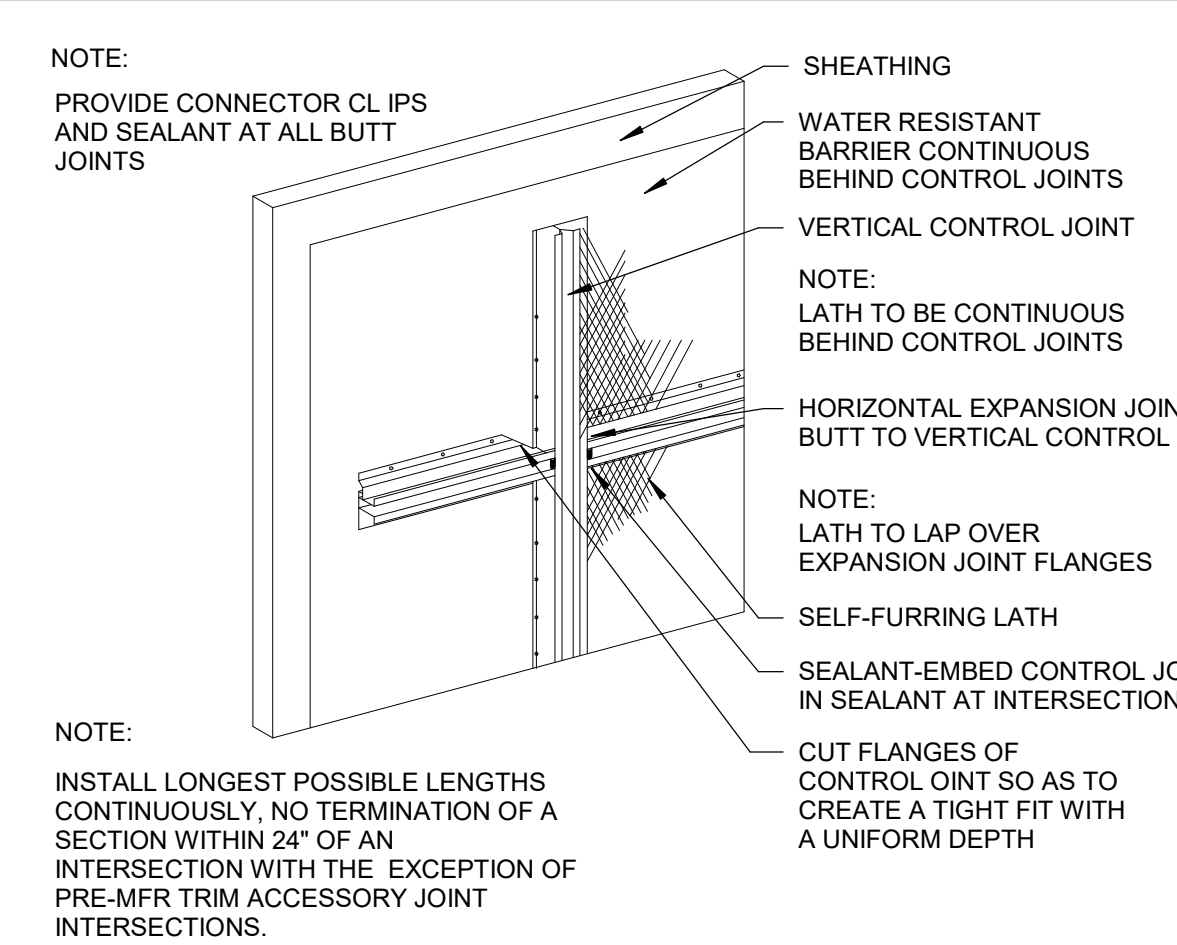
**16 RIDGE - ROOF W/ WOOD FASCIA**  
1 1/2" = 1'-0"



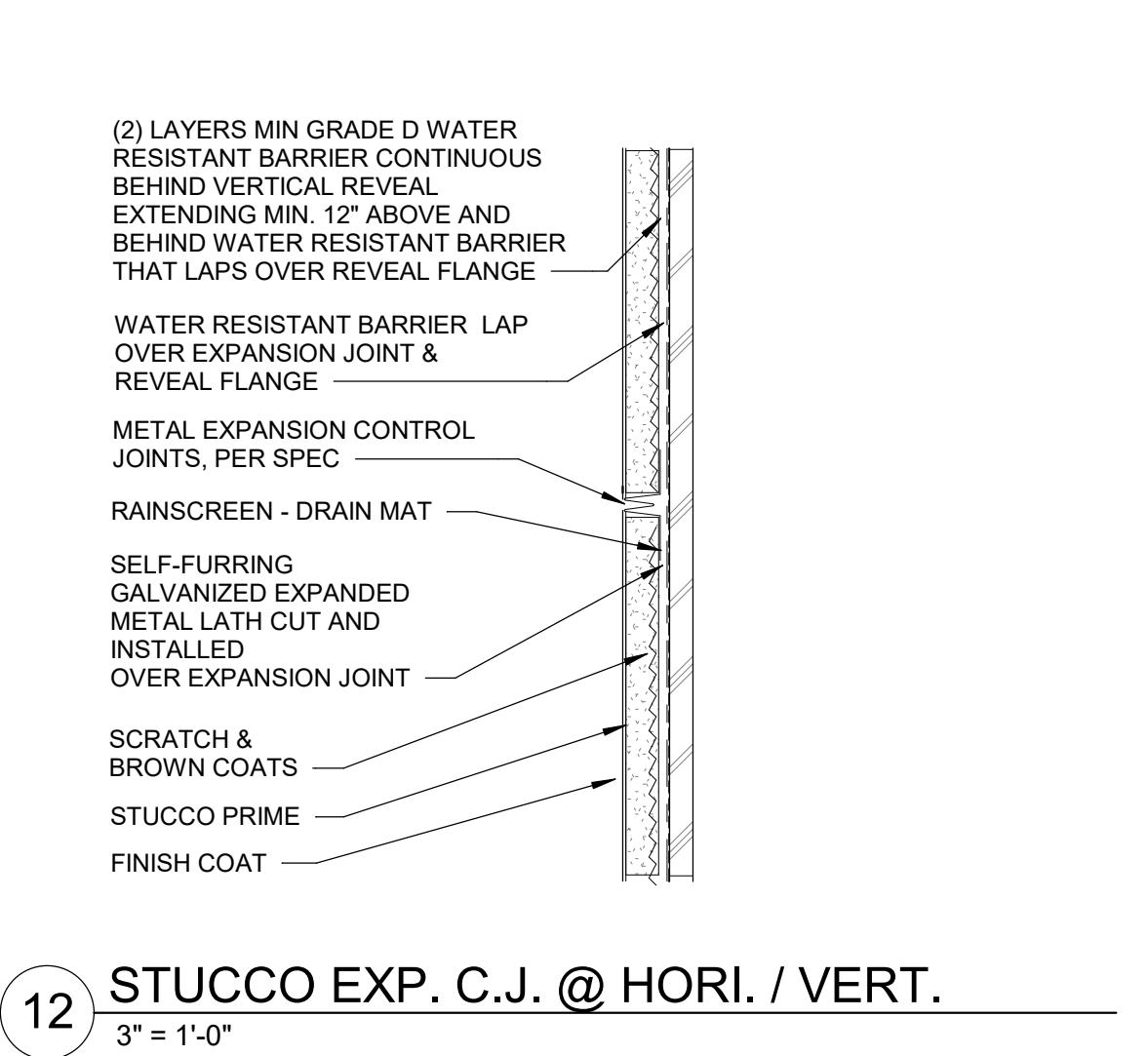
**9 SLIDING DOOR @ DECK**  
1 1/2" = 1'-0"



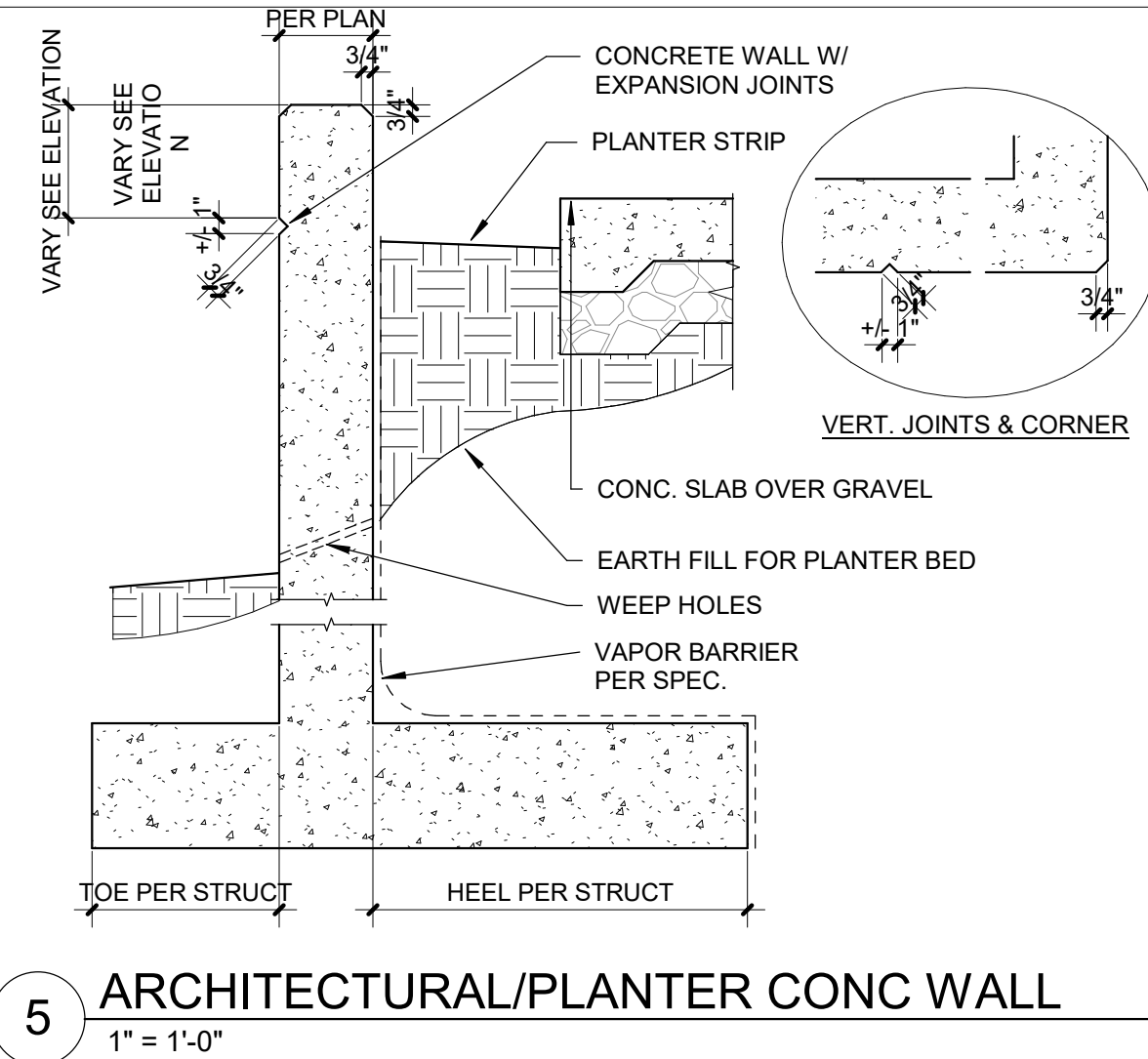
**10 TYP OVERHANG & D.S. FLAT**  
1 1/2" = 1'-0"



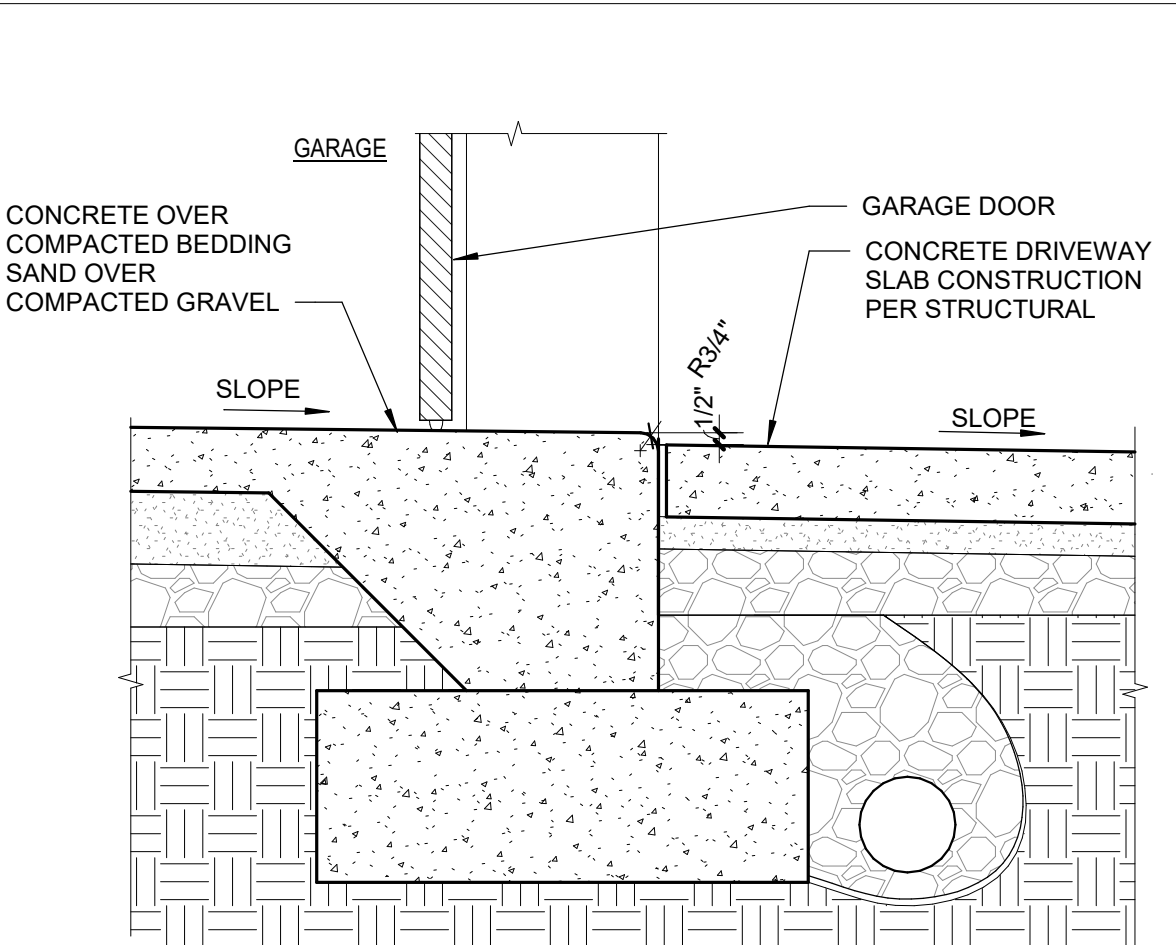
**11 STUCCO EXP. C.J. INTERSECTION**  
3" = 1'-0"



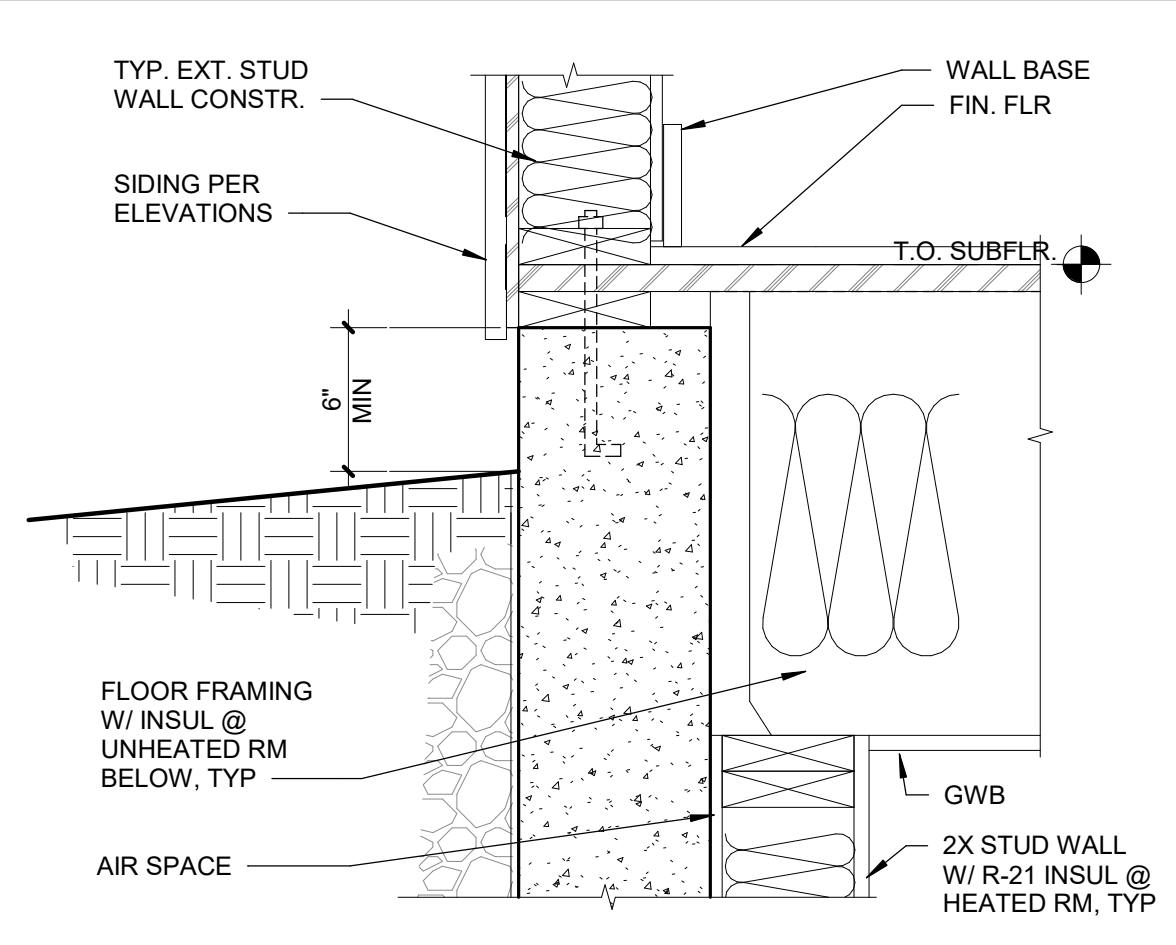
**12 STUCCO EXP. C.J. @ HORI. / VERT.**  
3" = 1'-0"



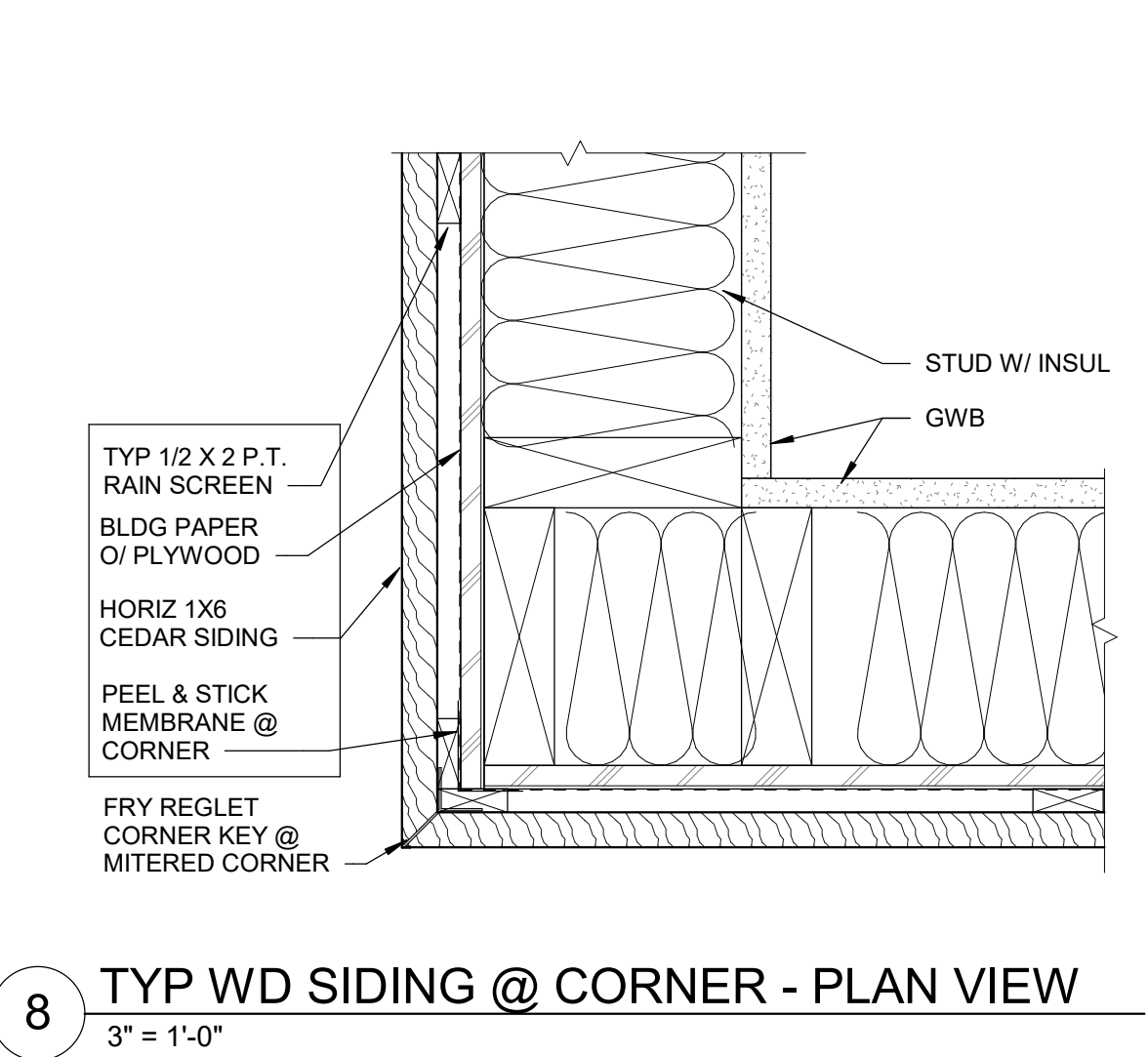
**5 ARCHITECTURAL/PLANTER CONC WALL**  
1" = 1'-0"



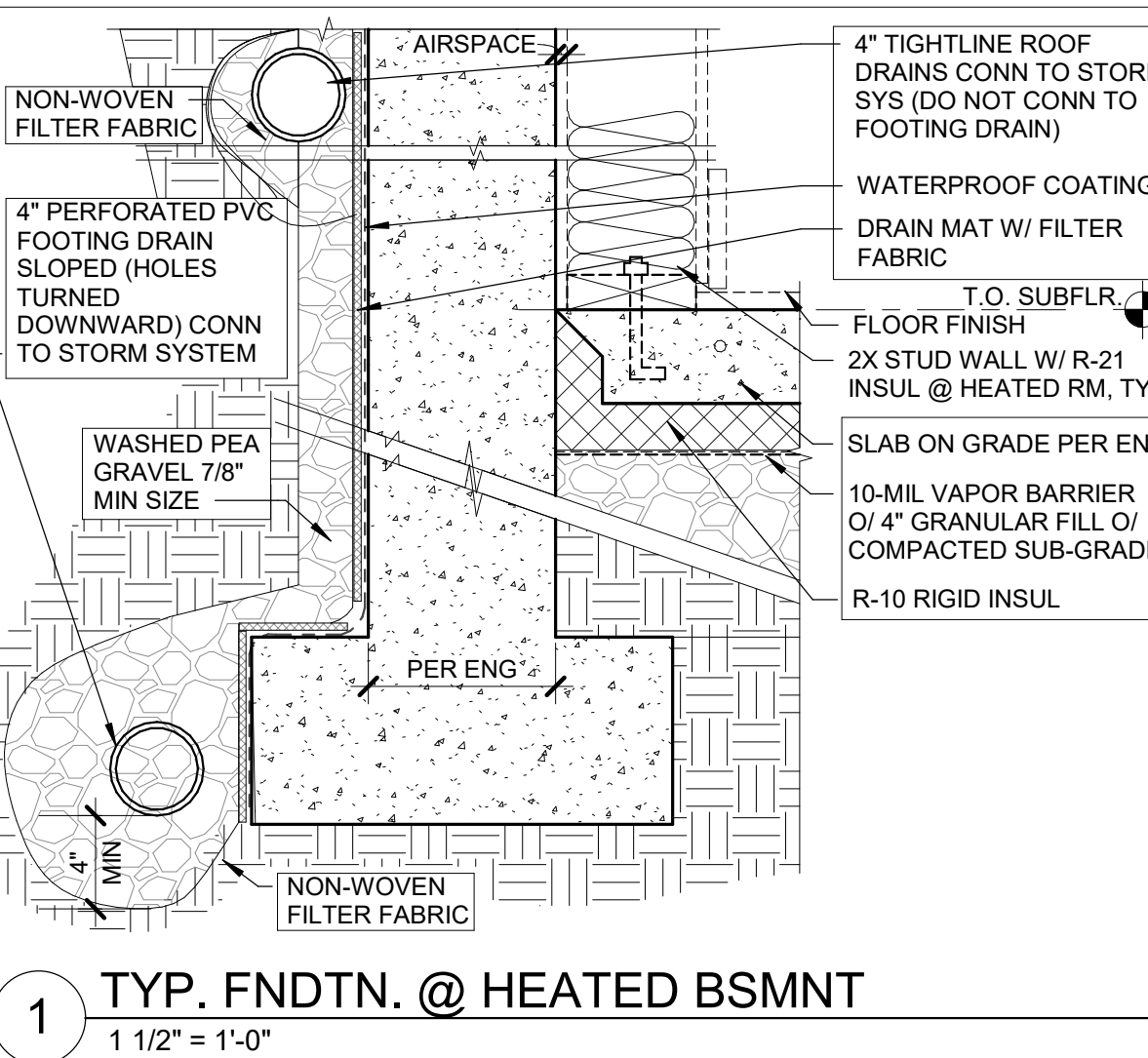
**6 GARAGE DOOR THRESHOLD**  
1 1/2" = 1'-0"



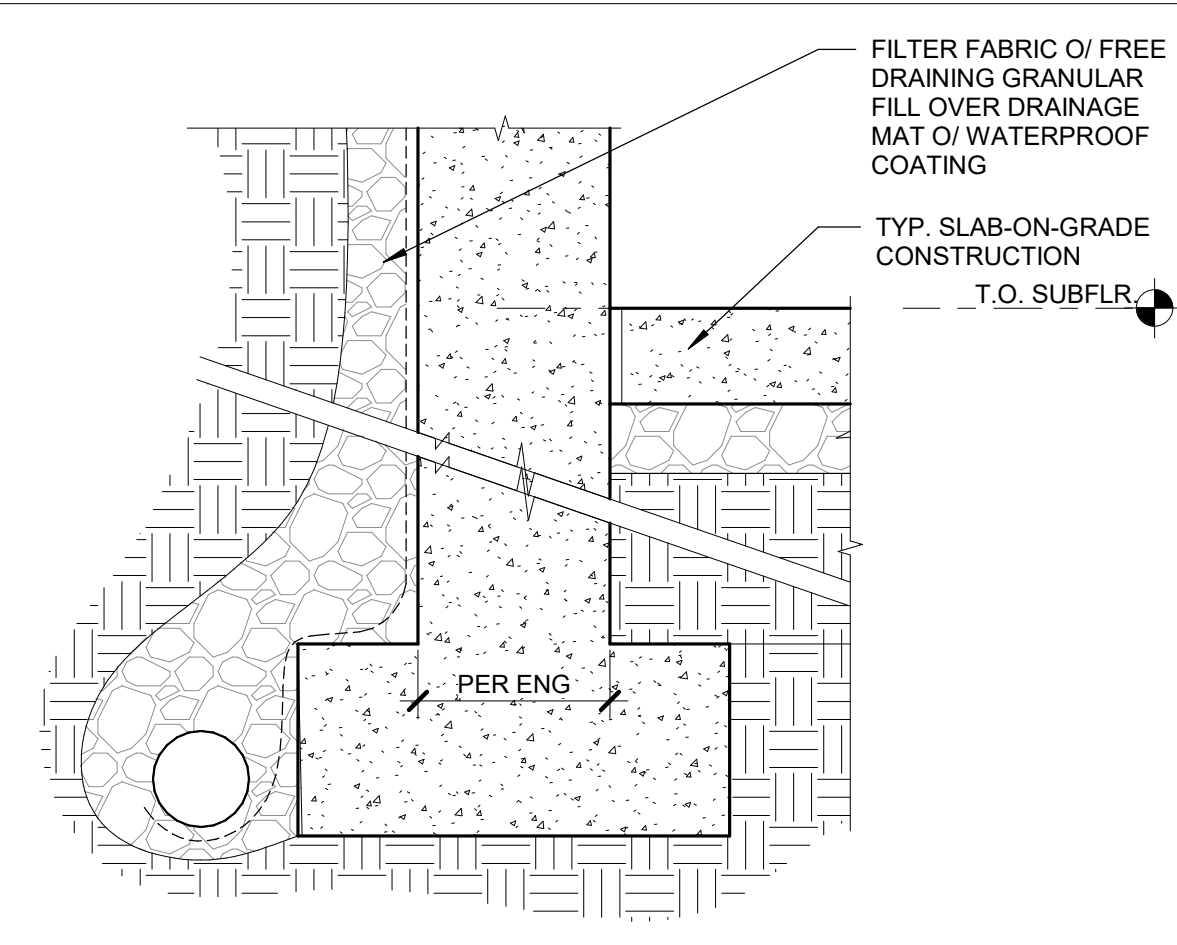
**7 FNDTN @ BSMNT FLOOR**  
1 1/2" = 1'-0"



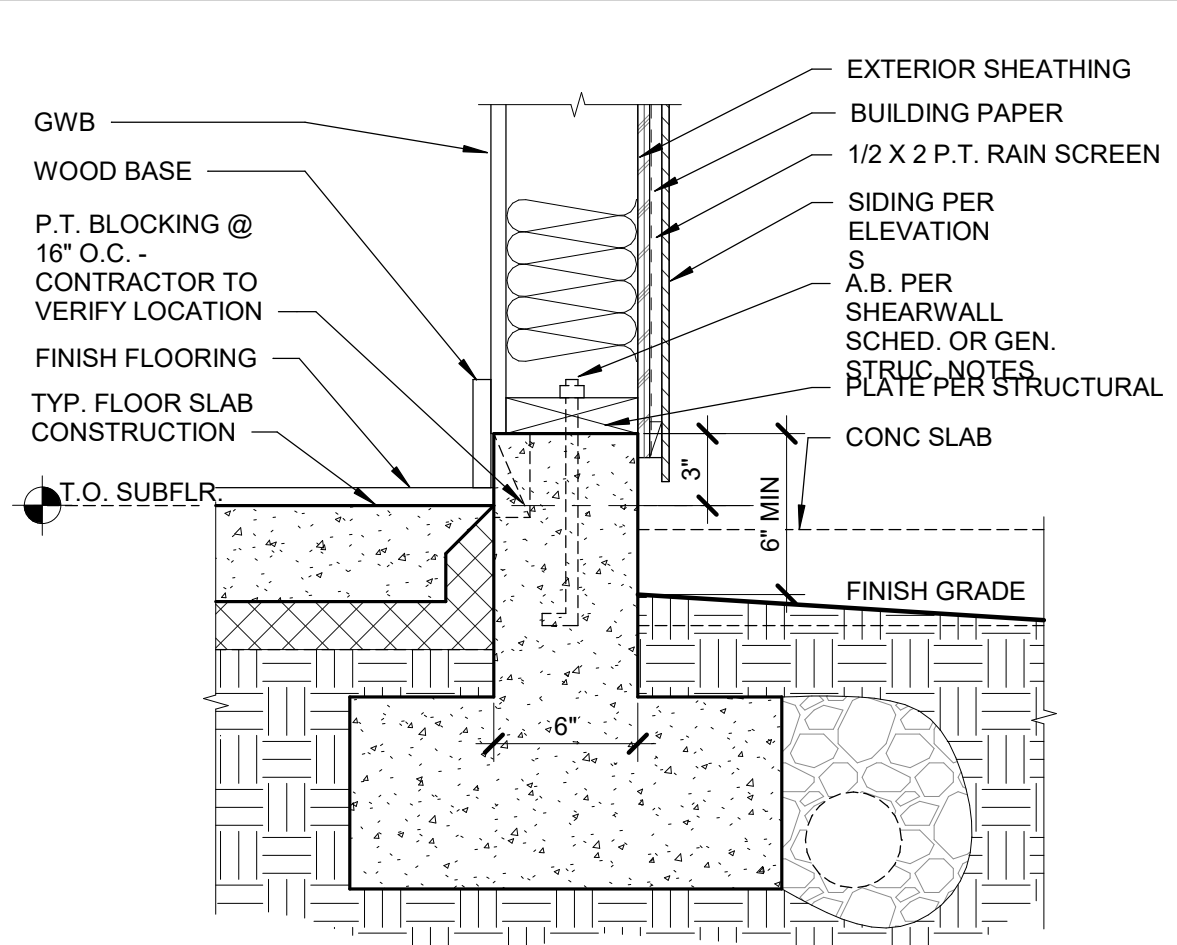
**8 TYP WD SIDING @ CORNER - PLAN VIEW**  
3" = 1'-0"



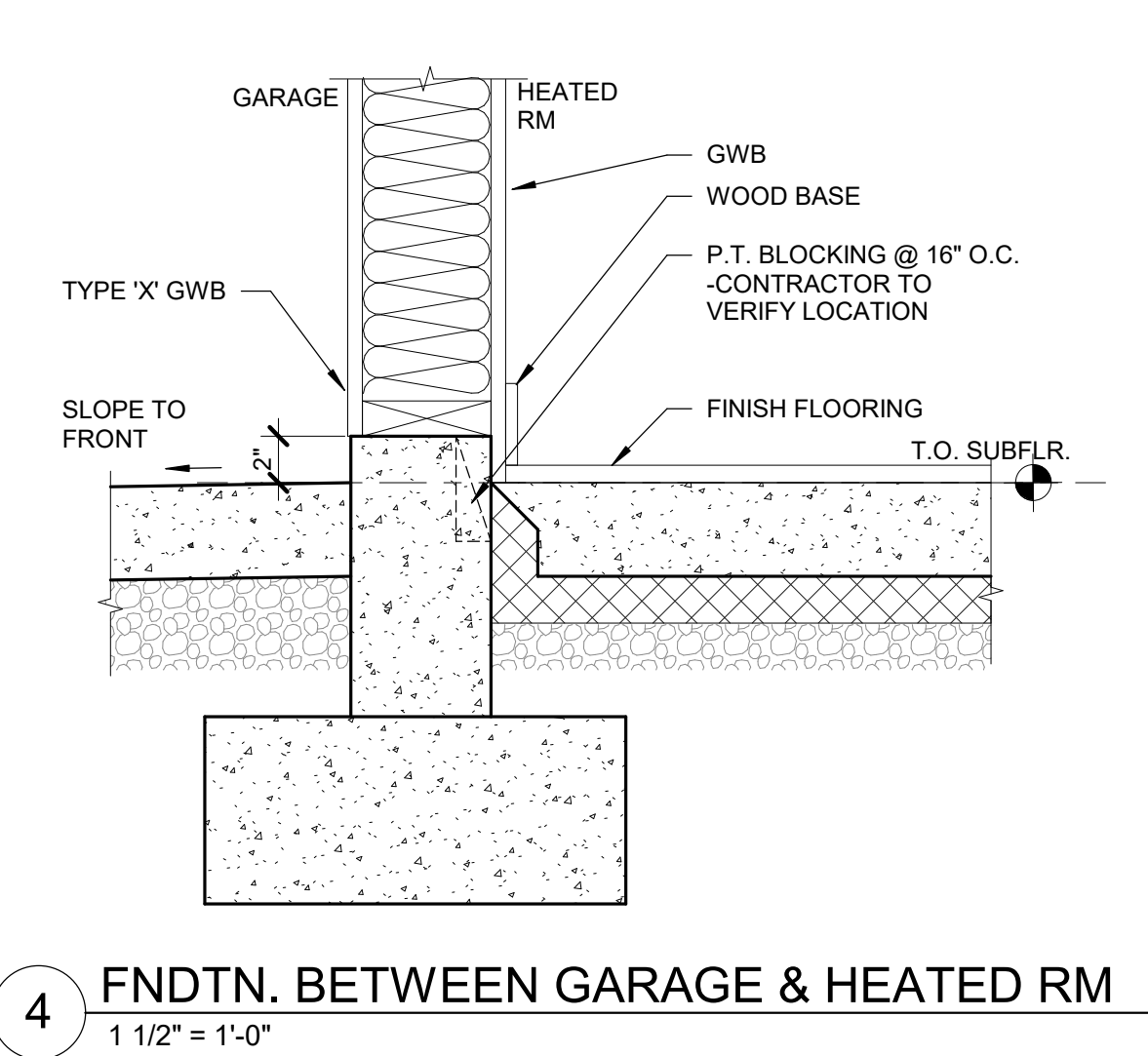
**1 TYP. FNDTN. @ HEATED BSMNT**  
1 1/2" = 1'-0"



**2 FNDTN @ BSMNT W/O INSUL**  
1 1/2" = 1'-0"



**3 TYP FNDTN W/ SLAB ON GRADE**  
1 1/2" = 1'-0"



**4 FNDTN. BETWEEN GARAGE & HEATED RM**  
1 1/2" = 1'-0"

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**Ramayyah Subramanian  
Residence**  
7466 E Mercer Way  
Mercer Island, WA 98040

**BUILDING PERMIT SET**  
**REVISION 1**  
**07/17/2025**

PROJECT NUMBER: 20-0502  
PROJECT MANAGER: JL  
DRAWN BY: AD

REVISIONS:

NO.	DESCRIPTION	DATE

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DETAILS

**A601**

